

MOORPARK COLLEGE PERFORMING ARTS – REPLACE STAGE AND SCENE SHOP FLOORING

GENERAL NOTES

- INTERPRETATION OF CONSTRUCTION DOCUMENTS
 - ALL INFORMATION DEPICTED IN THESE DRAWINGS AND RELATIVE TO EXISTING CONDITIONS IS BASED ON THE BEST AVAILABLE DATA AT THE TIME THESE CONSTRUCTION DOCUMENTS WERE BEING EXECUTED, BUT WITHOUT GUARANTEE OF ACCURACY. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE AND SHALL REPORT ANY DISCREPANCIES TO ARCHITECT PRIOR TO COMMENCING ANY WORK.
 - THE CONTRACTOR IS RESPONSIBLE FOR ALL COSTS INCURRED RESULTING FROM THE REMOVAL OR REPLACEMENT OF WORK INSTALLED WITHOUT PROPER COORDINATION TO ALL OTHER TRADES, AND/OR PRIOR TO OBTAINING CLARIFICATION FROM THE ARCHITECT WHERE CONFLICTING INFORMATION EXISTS ON THE DRAWINGS.
 - THE CONTRACTOR SHALL FURNISH ALL BIDDERS WITH A COMPLETE SET OF CONSTRUCTION DOCUMENTS, INCLUDING BUT NOT LIMITED TO DRAWINGS, SPECIFICATIONS AND ADDENDUMS.
 - ALL BIDS AND LINE ITEM COSTS SUBMITTED BY THE CONTRACTOR IN CONJUNCTION WITH HIS SUBCONTRACTORS ARE CONSIDERED TO INCLUDE COMPLETE COORDINATION BETWEEN THE VARIOUS DISCIPLINES AS WELL AS ALL OTHER REQUIREMENTS OF THESE CONSTRUCTION DOCUMENTS, INCLUDING BUT NOT LIMITED TO CODE AND PUBLIC UTILITY REQUIREMENTS. FURTHER, WHERE THERE ARE CONFLICTING SOLUTIONS IN THE CONSTRUCTION DOCUMENTS AND BID OR LINE ITEM COST IS SUBMITTED BY THE CONTRACTOR WITHOUT ANY FORMAL WRITTEN REQUEST FOR CLARIFICATION PRIOR TO BID OPENING, ALL SUCH ITEMS WILL BE CONSIDERED TO INCLUDE THE MOST EXPENSIVE OF THE POSSIBLE SOLUTIONS DEPICTED IN THE CONSTRUCTION DOCUMENTS.
 - MODIFICATIONS OF DETAILS OF CONSTRUCTION SHALL NOT BE MADE WITHOUT WRITTEN APPROVAL OF THE ARCHITECT.
- CONTRACTOR SHALL VISIT THE SITE TO INVESTIGATE AND VERIFY ALL DIMENSIONS AND EXISTING SITE CONDITIONS AT JOB SITE PRIOR TO START OF WORK.
- ALL DIMENSIONS INDICATED ARE BELIEVED TO BE ACCURATE, BUT ARE NOT GUARANTEED TO BE SO. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT. COORDINATE WITH EXISTING CONDITIONS WHERE INSUFFICIENT DETAIL DIMENSIONS ARE AVAILABLE. ALL DIMENSIONS ARE TO FINISHED FACE OF CONSTRUCTION OR CENTERLINE OF COLUMNS UNLESS NOTED OTHERWISE. DIMENSIONS NOTED AT "CLR" (CLEAR) ARE NOT ADJUSTABLE WITHOUT ARCHITECT'S APPROVAL.
- DIMENSIONS SHOWN SHALL HAVE PREFERENCE OVER SCALE.
- ALL ITEMS INCLUDING BUILDINGS SHOWN ARE EXISTING (E) UNLESS NOTED NEW (N); EXCEPT FOR THE DETAIL SHEETS WHERE ITEMS SHOWN ARE NEW UNLESS NOTED EXISTING (E).
- CONTRACTOR SHALL TAKE ALL PRECAUTIONARY MEASURES TO PROTECT EXISTING PIPELINES AND UTILITIES THAT ARE TO REMAIN IN SERVICE. CONTRACTOR SHALL VERIFY THAT THOSE PIPELINES AND UTILITIES TO BE REMOVED HAVE BEEN DISCONNECTED, SHUT DOWN OR ABANDONED PRIOR TO ATTEMPTING REMOVAL OR DEMOLITION IN A MANNER TO AVOID ANY DISRUPTION OF EXISTING FACILITIES.
- CONTRACTOR SHALL PROTECT ALL SURFACES & FIXTURES TO REMAIN DURING DEMOLITION AND CONSTRUCTION.
- ALL DAMAGE DONE TO EXISTING CONSTRUCTION AS A RESULT OF DEMOLITION OR INSTALLATION SHALL BE COMPLETELY REPAIRED BY CONTRACTOR AT NO COST TO OWNER. REPAIRED WORK SHALL MATCH EXISTING CONSTRUCTION.
- CONTRACTOR SHALL REPAIR AND PATCH UP ALL DAMAGES TO EXISTING SURFACES CAUSED BY REMOVAL OF EXISTING EQUIPMENT ATTACHED TO EXISTING SURFACES.
- WHERE PATCHES ARE REQUIRED IN EXISTING, SURFACES ADJACENT MATERIAL SHALL BE MATCHED IN TEXTURE AND FINISH.
- "DEMOLISH" AND "REMOVE" SHALL MEAN TO DEMOLISH, REMOVE FROM THE SITE AND DISPOSE OF IN A LEGAL MANNER UNLESS NOTED OTHERWISE. TERMINATE PIPING BELOW SUBSTRATE FOR PATCHING. ELECTRICAL WIRE DISCONNECT SHALL BE AT THE SOURCE OF POWER.
- SALVAGED PRODUCTS SAVED FOR OWNER AS A RESULT OF DEMOLITION ACTIVITY AND/OR PRODUCTS STORED FOR USE IN CONSTRUCTION SHALL BE STORED IN A MANNER SUCH THAT NO MATERIALS ARE DAMAGED AND PUBLIC SAFETY IS MAINTAINED.
- CONTRACTOR SHALL THOROUGHLY CLEAN AND SECURE THE AREA OF CONSTRUCTION AFTER EACH DAY OF WORK. CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL CONSTRUCTION DEBRIS OFF SITE.
- LOCATIONS OF STRUCTURES, UNDERGROUND PIPELINES AND UTILITIES WERE OBTAINED FROM AVAILABLE RECORDS. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS AND ELEVATIONS OF ALL PIPELINES AND UTILITIES BEFORE COMMENCING DEMOLITION, EARTHWORK OR CONSTRUCTION WORK.
- GENERAL CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS PRIOR TO START OF CONSTRUCTION. ALL QUESTIONS SHALL BE SENT TO ARCHITECT.
- ALL SALVAGEABLE MATERIALS AND EQUIPMENT TO BE REMOVED SHALL REMAIN THE SOLE PROPERTY OF THE OWNER. THE CONTRACTOR SHALL CONSULT WITH THE OWNER CONCERNING STORAGE AND/OR DISPOSAL OF SUCH EQUIPMENT. OWNER HAS FULL SALVAGE RIGHTS. ALL REMOVED MATERIALS OTHER THAN ITEMS TO BE SALVAGED, OR REUSED SHALL BECOME CONTRACTOR'S PROPERTY AND SHALL BE REMOVED FROM THE PROJECT SITE.

7075 CAMPUS ROAD
MOORPARK, CALIFORNIA 93021

VENTURA COUNTY COMMUNITY COLLEGE

SEPTEMBER 2020

GENERAL NOTES

- ALL WORK, INCLUDING REMOVAL OF EXISTING WORK, SHALL BE PERFORMED IN A MANNER THAT MINIMIZES THE AMOUNT OF NOISE, DUST, TRAFFIC AND/OR OTHER FORMS OF DISTURBANCES IN COMPLIANCE WITH ALL APPLICABLE CODES AND ORDINANCES SO THAT THE PUBLIC, STUDENTS AND STAFF, AS WELL AS OTHER OCCUPIED AREAS OF THE SCHOOL ARE SUBJECTED TO AS LITTLE DISRUPTION AS REASONABLY POSSIBLE.
- ROUTES OF INGRESS AND EGRESS FOR MATERIALS AND WORKMEN, AND LIMITS OF THE PROJECT AREA WILL BE DESIGNATED BY THE OWNER. THE CONTRACTOR SHALL CONFINE HIS ACTIVITIES WITHIN SUCH LIMITS. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ADEQUATE SAFETY AND DUST BARRIERS IN THE SITE, ACROSS CORRIDORS AND ELSEWHERE AS REQUIRED.
- SHUT DOWN OF EXISTING AND OPERATING PLUMBING, MECHANICAL AND ELECTRICAL SYSTEMS OR PORTIONS THEREOF SHALL BE COORDINATED IN ADVANCE WITH THE OWNER.
- CONTRACTOR SHALL COORDINATE ALL WORK SHOWN ON THE ARCHITECTURAL DRAWINGS WITH THE SPECIFICATIONS AND THE WORK SHOWN ON THE MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS. ANY DISCREPANCIES FOUND SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IN WRITING BEFORE PROCEEDING WITH ANY RELATED WORK.
- NOT USED.
- GENERAL CONTRACTOR SHALL PROVIDE TEMPORARY EIGHT (8) FEET HIGH CHAIN LINK FENCE BARRICADES AT WORK AREAS, DISTRICT APPROVED STORAGE AREAS AND WHEREVER NECESSARY TO MAINTAIN A SAFE PASSAGE AND SAFE ENVIRONMENT.
- BEFORE PROCEEDING WITH THE CORING OR CUTTING OF WALLS AND FLOORS, ETC., THE CONTRACTOR SHALL PREPARE LAYOUT OF CUTTING OR CORING AND SHALL HAVE THE APPROVAL BY THE STRUCTURAL ENGINEER IN ORDER TO PROCEED WITH THE CUTTING OR CORING.
- SAW-CUT EXISTING A.C. PAVING AND/OR CONCRETE FLOOR SLAB AS REQUIRED FOR NEW PIPE INSTALLATION AND NEW DEPRESSED CONCRETE SLAB, AND REPAIR TO MATCH EXISTING.
- STRENGTH OF CONCRETE:
A) SLABS ON EARTH, SIDEWALKS AND CURBS: 3,000 PSI AT 28 DAYS
B) FOUNDATIONS: 3,000 PSI AT 28 DAYS
- THE CONTRACTOR SHALL NOT COMMENCE THE WORK, IN PART OR IN FULL, PRIOR TO OBTAINING THE NOTICE-TO-PROCEED (NTP) FROM VCCCD.
- IN CASE OF CONFLICT, THE MORE EXPENSIVE CONSTRUCTION MEANS AND METHOD SHALL BE USED.
- THE PROVISIONS OF CFC CHAPTER 14 AND CBC CHAPTER 33 SHALL BE ENFORCED ON THIS PROJECT.
- ALL ASTM SPECIFICATIONS NOTED ON THESE DRAWINGS SHALL BE OF THE LATEST EDITION.

DSA EXEMPT

- THIS PROJECT IS EXEMPT FROM DSA REVIEW, APPROVAL AND CERTIFICATION IN ACCORDANCE WITH DSA IR A-22, PARAGRAPH 1.3.1.
- ALL WORK SHALL COMPLY WITH APPLICABLE CODES AS LISTED.

APPLICABLE CODES

LIST OF 2019 CALIFORNIA CODE OF REGULATIONS (C.C.R.): APPLICABLE CODES AS OF JANUARY 1, 2020

- | | |
|----------|--|
| PART 1- | 2019 CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE, TITLE 24 C.C.R. |
| PART 2- | 2019 CALIFORNIA BUILDING CODE, TITLE 24 C.C.R. (2018 INTERNATIONAL BUILDING CODE OF THE INTERNATIONAL CODE COUNCIL, WITH CALIFORNIA AMENDMENTS) |
| PART 3- | 2019 CALIFORNIA ELECTRICAL CODE, TITLE 24 C.C.R. (2017 NATIONAL ELECTRICAL CODE OF THE NATIONAL FIRE PROTECTION ASSOCIATION, NFPA) |
| PART 4- | 2019 CALIFORNIA MECHANICAL CODE, TITLE 24 C.C.R. (2018 UNIFORM MECHANICAL CODE OF THE INTERNATIONAL ASSOCIATION OF PLUMBING AND MECHANICAL OFFICIALS, IAPMO) |
| PART 5- | 2019 CALIFORNIA PLUMBING CODE, TITLE 24 C.C.R. (2018 UNIFORM PLUMBING CODE OF THE INTERNATIONAL ASSOCIATION OF PLUMBING AND MECHANICAL OFFICIALS, IAPMO) |
| | 2019 CALIFORNIA ENERGY CODE, TITLE 24 C.C.R. |
| PART 6- | CURRENTLY VACANT |
| PART 7- | 2019 CALIFORNIA HISTORICAL BUILDING CODE, TITLE 24 C.C.R. |
| PART 8- | 2019 CALIFORNIA FIRE CODE, TITLE 24 C.C.R. (2018 INTERNATIONAL FIRE CODE OF THE INTERNATIONAL CODE COUNCIL) |
| PART 9- | 2019 CALIFORNIA EXISTING BUILDING CODE (2018 INTERNATIONAL EXISTING BUILDING CODE OF THE INTERNATIONAL CODE COUNCIL, WITH AMENDMENTS) |
| PART 10- | 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN CODE), TITLE 24 C.C.R. |
| PART 11- | 2019 CALIFORNIA REFERENCE STANDARDS CODE, TITLE 24 C.C.R. |
| PART 12- | |

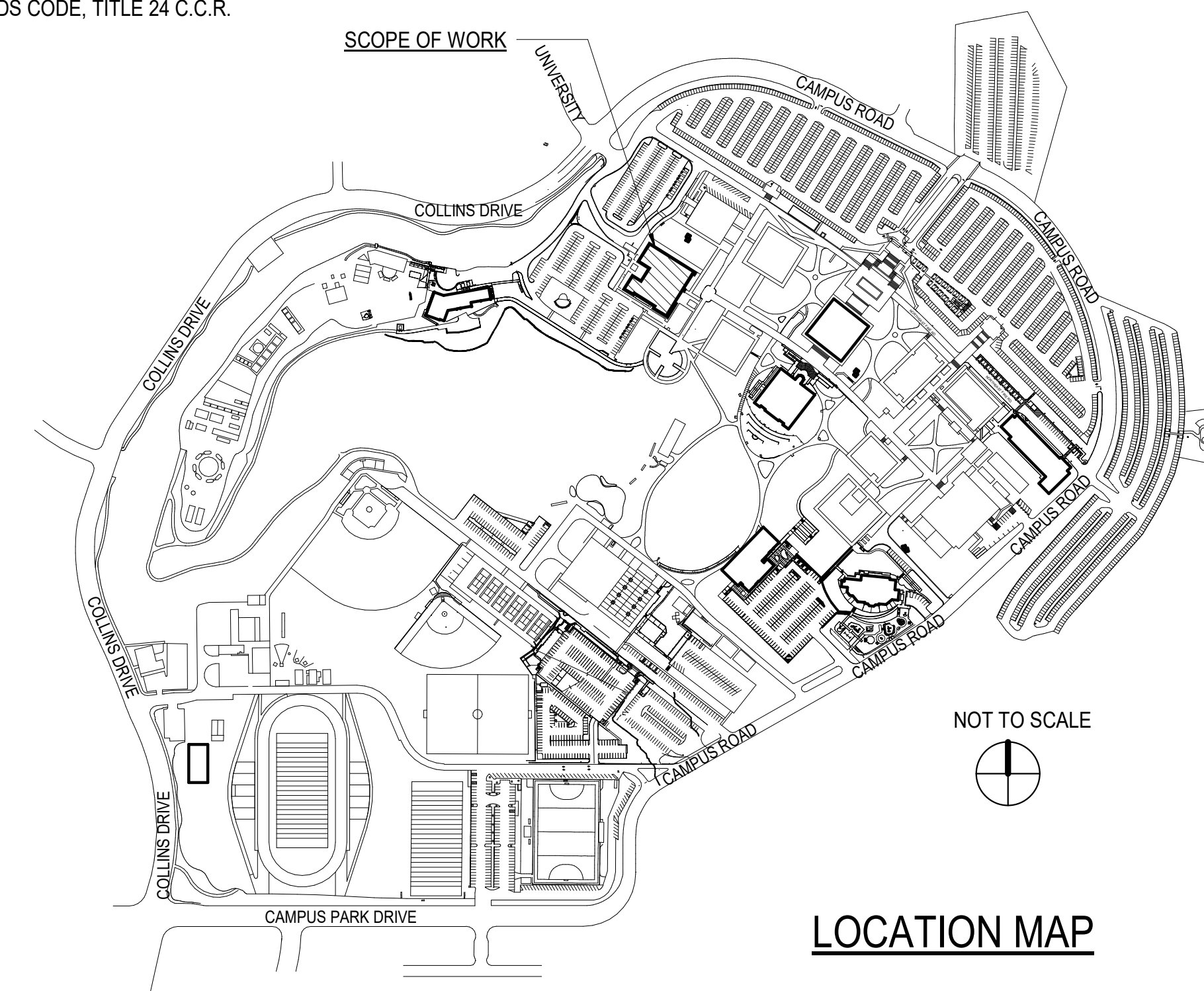
DRAWING LIST

SHT NO.	DRAWING TITLE
GENERAL	
G000	TITLE SHEET
G101	ABBREVIATIONS & SYMBOLS
ARCHITECTURAL	
A101	PERFORMING ARTS BUILDING PLAN
A102	SCENE SHOP EXISTING PLAN
A103	STAGE EXISTING PLAN
A104	SCENE SHOP NEW PLAN
A105	STAGE NEW PLAN
Grand total: 7	

SUMMARY OF SCOPE OF WORK

SCOPE AS SHOWN ON DRAWINGS INCLUDING, BUT NOT LIMITED TO:

- REPLACE MASONITE FINISH FLOORING AT SCENE SHOP WITH PLYRON AND PROVIDE NEW WALL VENTED RUBBER BASE WHERE NEEDED.
- REPLACE IN-KIND SCENE SHOP PAINT AREA MAPLE SLAT FLOOR PANELS.
- REPLACE MASONITE OVERLAY AT STAGE AND AT ORCHESTRA LIFT PLATFORM WITH PLYRON.
- PROVIDE TAPERED RUBBER TRANSITION AT STAGE EDGES.

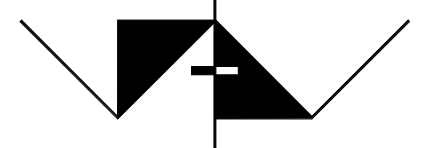


PROJECT TITLE

**MOORPARK COLLEGE
PERFORMING ARTS -
REPLACE STAGE AND
SCENE SHOP FLOORING**

7075 CAMPUS ROAD
MOORPARK, CALIFORNIA 93021

COMMISSIONED ARCHITECT



**AMADOR WHITTLE
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CONSULTANT

STAMPS/SEALS



Project Status

SHEET TITLE:

TITLE SHEET

PROJECT NO. 020-MPC-035	PROJECT ARCH. WJA
DRAWN: SAN	CHECKED: WJA

SHEET NUMBER:

G000

DATE: 07/08/20 SHEET: ___ OF ___

ABBREVIATIONS

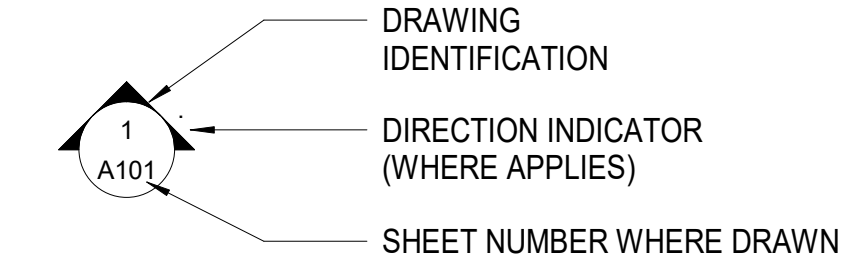
&	AND
(E)	EXISTING
@	AT
A.B.	ANCHOR BOLT
A.C.	ASPHALTIC CONCRETE
A.F.F.	ABOVE FINISH FLOOR
A/C	AIR CONDITIONER
ACOUST	ACOUSTICAL
AL.	ALUMINUM
ALUM	ALUMINUM
ARCH	ARCHITECTURAL
B.O.C.	BOTTOM OF COPING
B.U.R.	BUILT UP ROOFING
BD	BOARD
BLDG	BUILDING
BLK	BLOCK OR BLOCKING
BOT	BOTTOM
C.I.	CAST IRON
C.J.	CEILING JOIST
C.L.	CHAIN LINK
C.L.F.	CHAIN LINK FENCE
C.M.U.	CONCRETE MASONRY UNIT
C.T.	CERAMIC TILE
CAB	CABINET
CER	CERAMIC
CLG	CEILING
CLO.	CLOSET
CLR	CLEAR
COL	COLUMN
CONC	CONCRETE
CONST	CONSTRUCTION
CONT	CONTINUOUS
d	PENNY
D.F	DOUGLAS FIR
DBL	DOUBLE
DEMO	DEMOLITION
DET	DETAIL
DIA.	DIAMETER
DIM	DIMENSION
DIV	DIVISION
DR	DOOR
DS	DOWNSPOUT
DWG	DRAWING
E.J.	EXPANSION JOINT
E.W.C.	ELECTRIC WATER COOLER
EA	EACH
ELEC	ELECTRICAL
EQ	EQUAL
EQUIP	EQUIPMENT
EXH	EXHAUST
EXIST	EXISTING
EXP	EXPANSION
EXT	EXTERIOR
F.D.	FLOOR DRAIN
F.E.	FIRE EXTINGUISHER
F.E.C.	FIRE EXTINGUISHER CABINET
F.F.	FINISH FLOOR
F.G	FINISH GRADE
F.H.C.	FIRE HOSE CABINET
F.O.C.	FACE OF CONCRETE
F.O.S.	FACE OF STUD
F.O.W.	FACE OF WALL
F.R.	FIRE RATED, FIRE RESISTANT
F.S.	FINISHED SURFACE
FIN	FINISH
FLR	FLOOR
FR.	FRAME
FT	FOOT OR FEET
FTG	FOOTING
G.I.	GALVANIZED IRON
G.W.B.	GYPSUM WALLBOARD
GA	GAUGE
GALV	GALVANIZED
GEN	GENERAL
GYP	GYPSUM
H.M.	HOLLOW METAL
HDB	HARDBOARD
HDR	HEADER
HDW	HARDWARE

ABBREVIATIONS

HI	HIGH
HT	HEIGHT
IN	INCHES
INFO	INFORMATION
INSUL	INSULATION
INT	INTERIOR
JAN	JANITOR
K.D.	KNOCK-DOWN
LAM	LAMINATE
LAV	LAVATORY
LBS	POUNDS
M.O.	MASONRY OPENING
M.R.	MOISTURE RESISTANT
MATL	MATERIAL
MAX	MAXIMUM
MECH	MECHANICAL
MFR	MANUFACTURER
MIN	MINIMUM
MISC	MISCELLANEOUS
MTL	METAL
N.I.C.	NOT IN CONTRACT
N.T.S.	NOT TO SCALE
N/A	NOT AVAILABLE
NO., #	NUMBER
O.C.	ON CENTER
OPNG	OPENING
OPP	OPPOSITE
PL	PLASTIC
PR	PAIR
PT	POINT
PWD	PLYWOOD
R	RISER
R.C.P.	REFLECTED CEILING PLAN
R.D.	ROOF DRAIN
R.O.	ROUGH OPENING
REF	REFERENCE
REFL	REFLECTED
REINF	REINFORCING
REQ'D	REQUIRED
REV	REVISION
RM	ROOM
S & P	SHELF AND POLE
S.F.	SQUARE FEET
S.S.	STAINLESS STEEL
SCHED	SCHEDULE
SECT	SECTION
SHT	SHEET
SIM	SIMILAR
SQ	SQUARE
STD	STANDARD
STL	STEEL
STOR	STORAGE
STRUCT	STRUCTURAL
SUSP	SUSPEND, SUSPENDED
T & G	TONGUE AND GROOVE
T.O.C.	TOP OF CURB
T.O.P.	TOP OF PLATE
T.O.P.	TOP OF PARAPET
T.O.W.	TOP OF WALL
TEL	TELEPHONE
THK	THICK
TYP	TYPICAL
U.L.	UNDERWRITERS LABORATORIES
U.N.O.	UNLESS NOTED OTHERWISE
V.C.T.	VINYL COMPOSITION TILE
V.I.F.	VERIFY IN FIELD
VERT	VERTICAL
VEST	VESTIBULE
W.C.	WATER CLOSET
W.H.	WATER HEATER
W.R.	WATER RESISTANCE
W.W.M.	WELDED WIRE MESH
W/	WITH
WD	WOOD
WDW	WINDOW

LEGEND

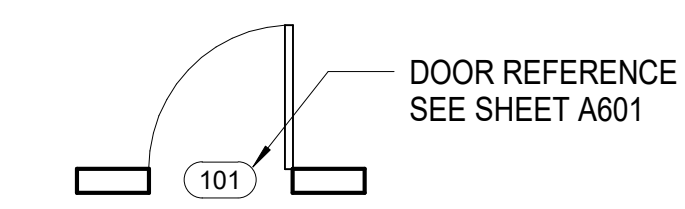
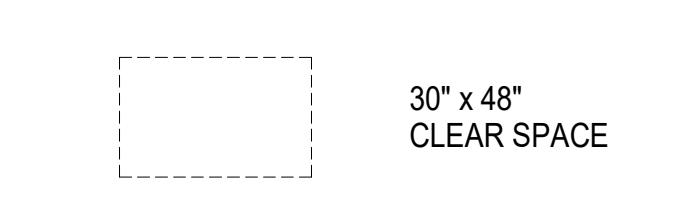
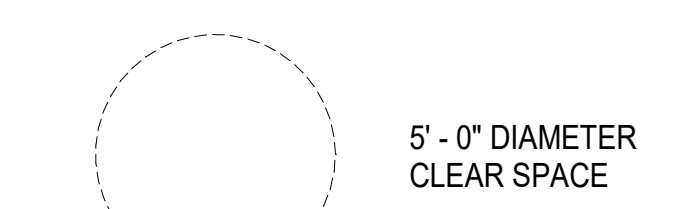
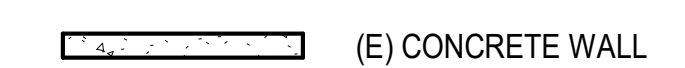
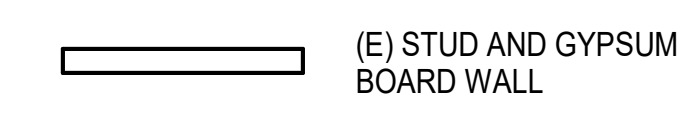
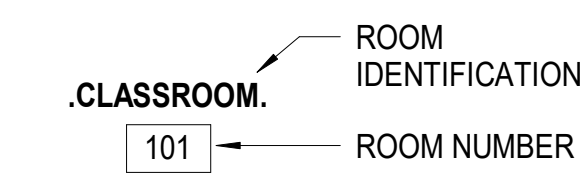
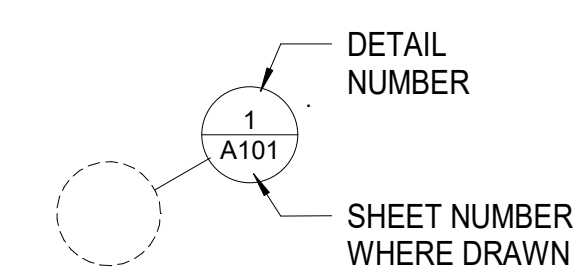
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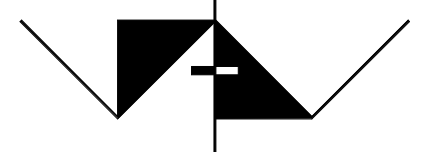


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7075 CAMPUS ROAD
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CONSULTANT

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Project Status

SHEET TITLE:

ABBREVIATIONS & SYMBOLS

PROJECT NO. 020-MPC-035 PROJECT ARCH. WJA

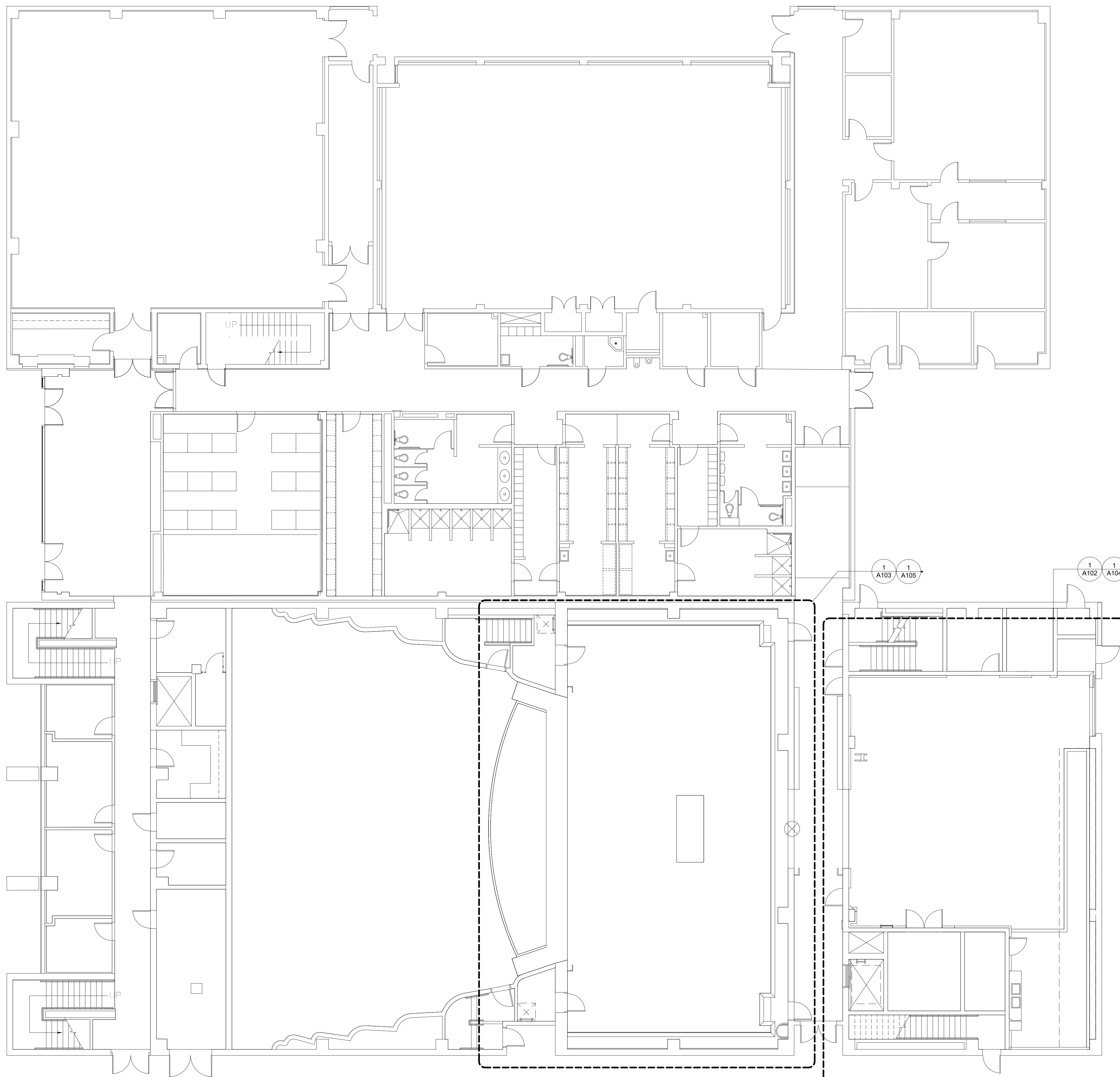
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DATE: 08/31/20

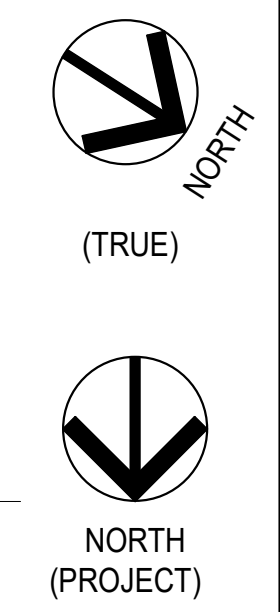
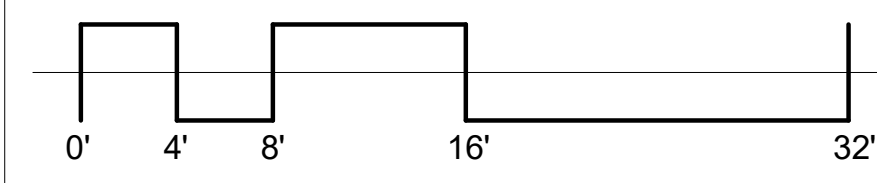
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GENERAL NOTES

1. ALL ITEM SHOWN ARE EXISTING UNLESS NOTED AS NEW.

1 PERFORMING ARTS BUILDING PLAN
1/8" = 1'-0"



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CONSULTANT



Project Status

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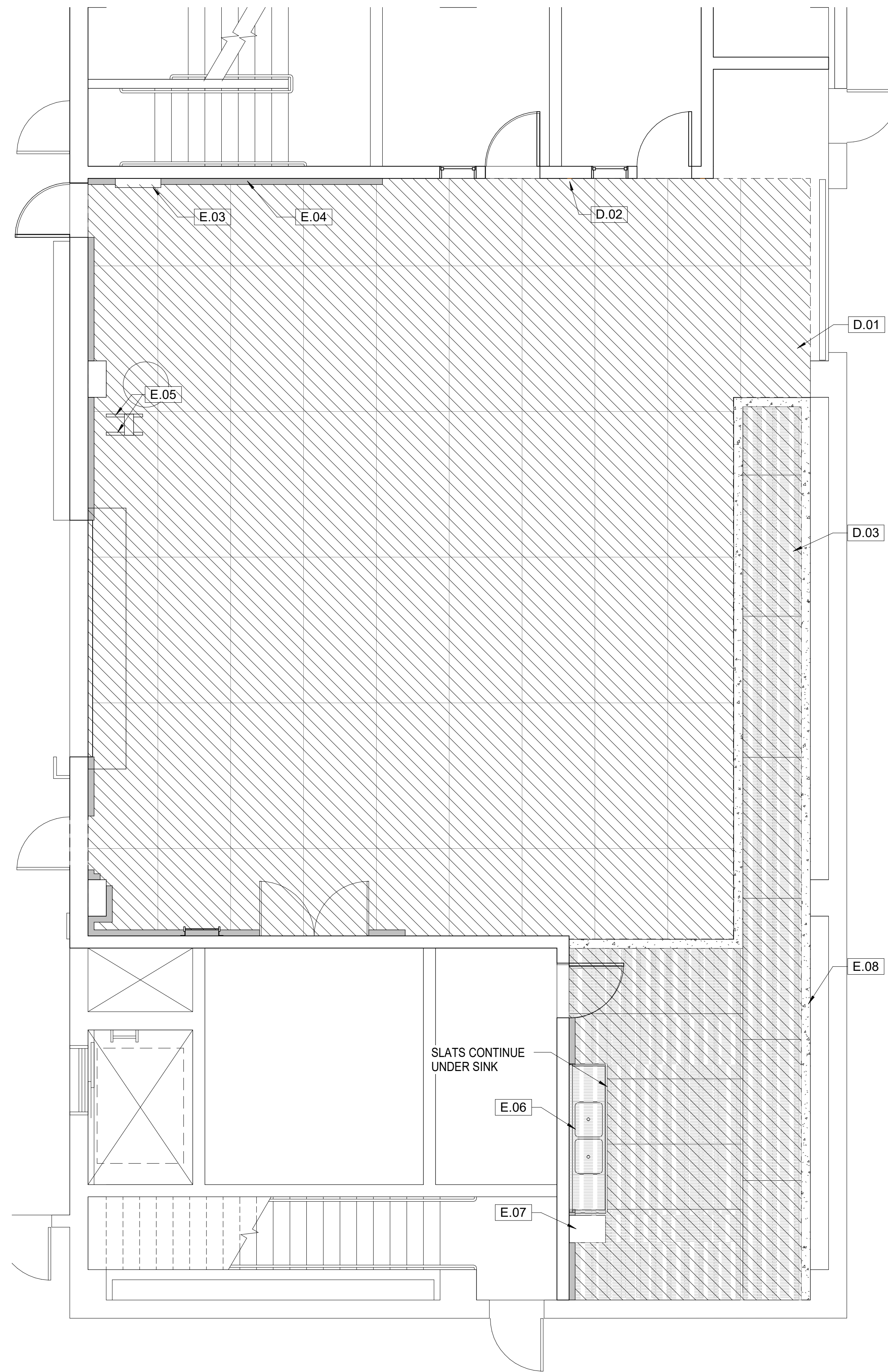
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SHEET TITLE:
**PERFORMING ARTS
BUILDING PLAN**

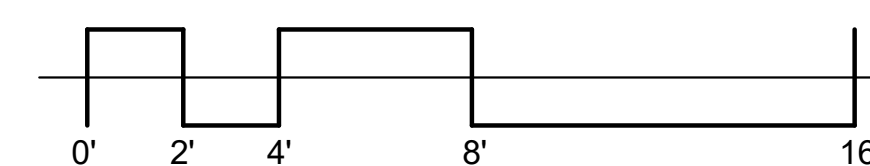
PROJECT NO. 020-MPC-035	PROJECT ARCH. WJA
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A101

DATE: 07/08/20 SHEET: ___ OF ___



1 SCENE SHOP EXISTING PLAN
1/4" = 1'-0"



DEMOLITION KEYNOTE LEGEND

- D.01 DEMOLISH (E) 1/4" THICK MASONITE FINISH FLOORING
- D.02 REMOVE (E) RUBBER BASE
- D.03 DEMOLISH (E) SLAT FLOOR PANELS

EXISTING KEYNOTE LEGEND

- E.03 (E) PANEL BOX
- E.04 (E) VENTED RUBBER BASE TO BE REUSED
- E.05 (E) DOUBLE ANGLE BASE TO BE REMOVED AND REINSTALLED
- E.06 (E) UTILITY SINK
- E.07 (E) DEBRIS COLLECTOR
- E.08 (E) CONCRETE FLOOR

LEGEND

- AREA OF DEMOLITION
- (E) VENTED RUBBER BASE
- (N) VENTED RUBBER BASE
- (N) RUBBER RAMP TRANSITION STRIPS
- (N) HARDBOARD FACE LAMINATED PLYWOOD FLOORING PER SPECS
- (E) CONCRETE FLOOR
- (N) LEVEL LANDING

GENERAL DEMOLITION NOTES

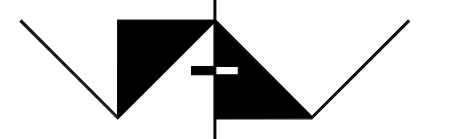
1. DEMOLISH AND DISPOSE OF ALL ITEMS NOTED TO BE REMOVED.
2. LEAVE AREA BROOM CLEAN
3. PROTECT IN PLACE ITEMS TO REMAIN. REPAIR ANY DAMAGED OR MARRED SURFACES TO REMAIN TO ORIGINAL CONDITION AT NO ADDITIONAL COST TO OWNER.

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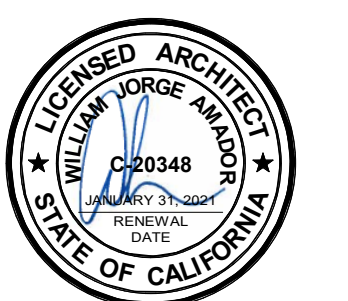


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STAMPS/SEALS



Project Status

SHEET TITLE:

**SCENE SHOP
EXISTING PLAN**

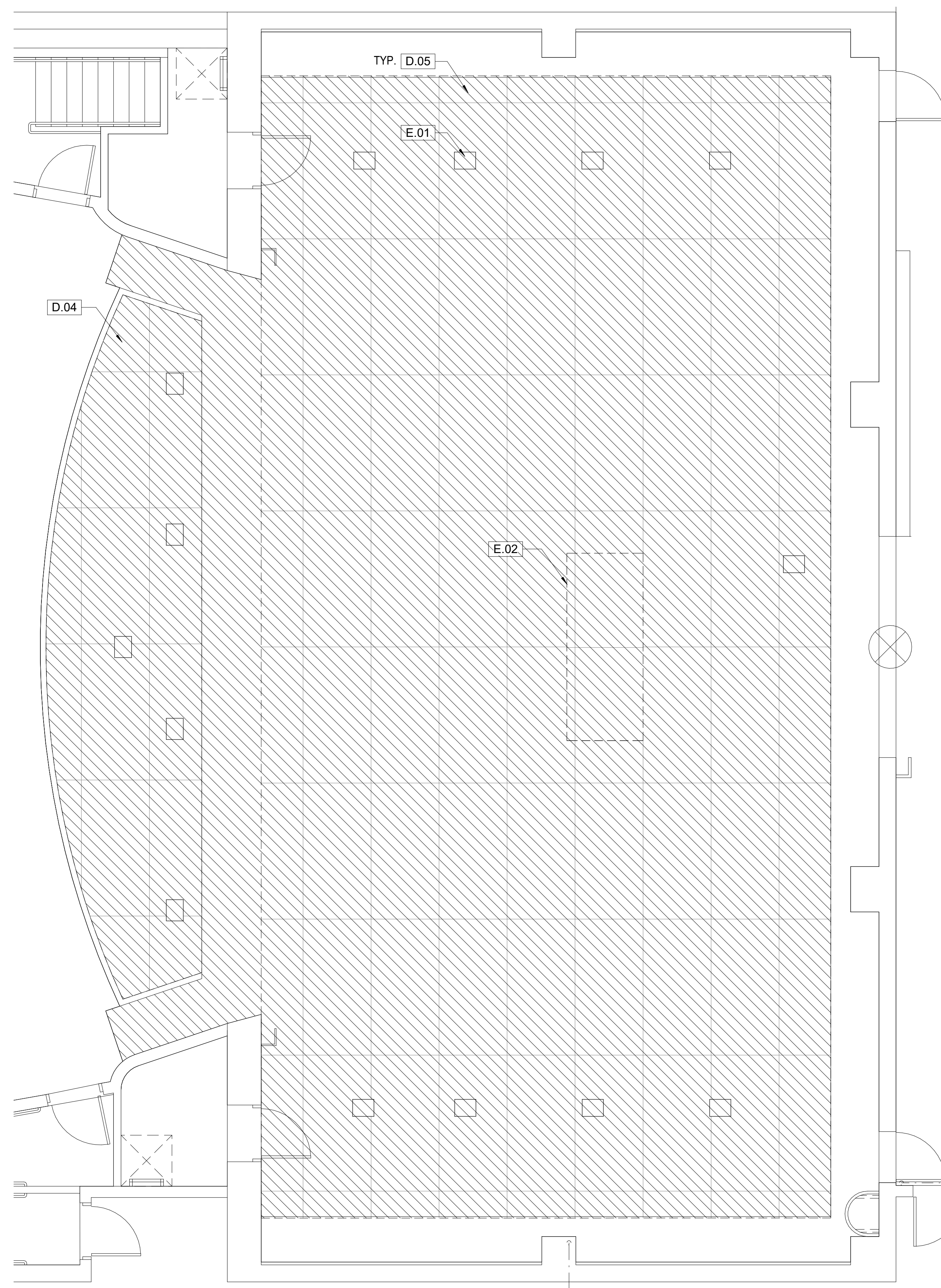
PROJECT NO. 020-MPC-035 PROJECT ARCH. WJA

DRAWN: SAN CHECKED: WJA

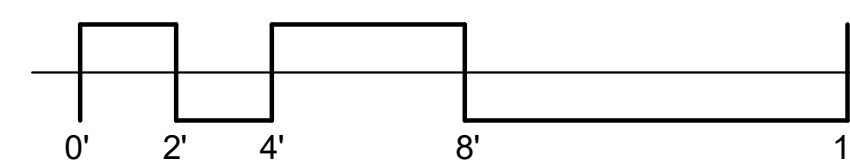
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A102

DATE: 07/08/20 SHEET: ___ OF ___



1 STAGE EXISTING PLAN
1/4" = 1'-0"



DEMOLITION KEYNOTE LEGEND

- D.04 DEMOLISH (E) 1/2" THICK MASONITE FINISH FLOORING
- D.05 DEMOLISH (E) 3/4" THICK MASONITE FINISH FLOORING

EXISTING KEYNOTE LEGEND

- E.01 (E) POWER BOX, TYP.
- E.02 (E) TRAP DOOR

LEGEND

- AREA OF DEMOLITION
- (E) VENTED RUBBER BASE
- (N) VENTED RUBBER BASE
- (N) RUBBER RAMP TRANSITION STRIPS
- (N) HARDBOARD FACE LAMINATED PLYWOOD FLOORING PER SPECS
- (E) CONCRETE FLOOR
- (N) LEVEL LANDING

GENERAL DEMOLITION NOTES

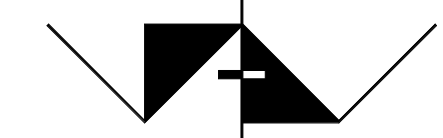
1. DEMOLISH AND DISPOSE OF ALL ITEMS NOTED TO BE REMOVED.
2. LEAVE AREA BROOM CLEAN
3. PROTECT IN PLACE ITEMS TO REMAIN. REPAIR ANY DAMAGED OR MARRED SURFACES TO REMAIN TO ORIGINAL CONDITION AT NO ADDITIONAL COST TO OWNER.

PROJECT TITLE

**MOORPARK COLLEGE
PERFORMING ARTS -
REPLACE STAGE AND
SCENE SHOP FLOORING**

7075 CAMPUS ROAD
MOORPARK, CALIFORNIA 93021

COMMISSIONED ARCHITECT

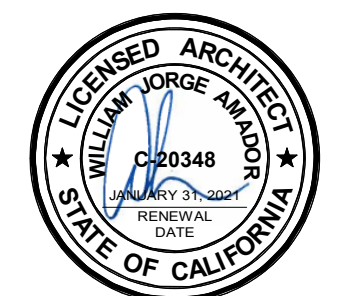


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CONSULTANT

STAMPS/SEALS



Project Status

SHEET TITLE:

**STAGE EXISTING
PLAN**

PROJECT NO.	020-MPC-035	PROJECT ARCHT.	WJA
DRAWN	SAN	CHECKED	WJA

SHEET NUMBER:


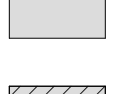
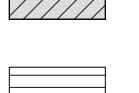
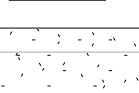

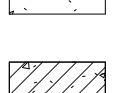

A103

DATE: 08/07/20 SHEET: ___ OF ___

KEYNOTE LEGEND

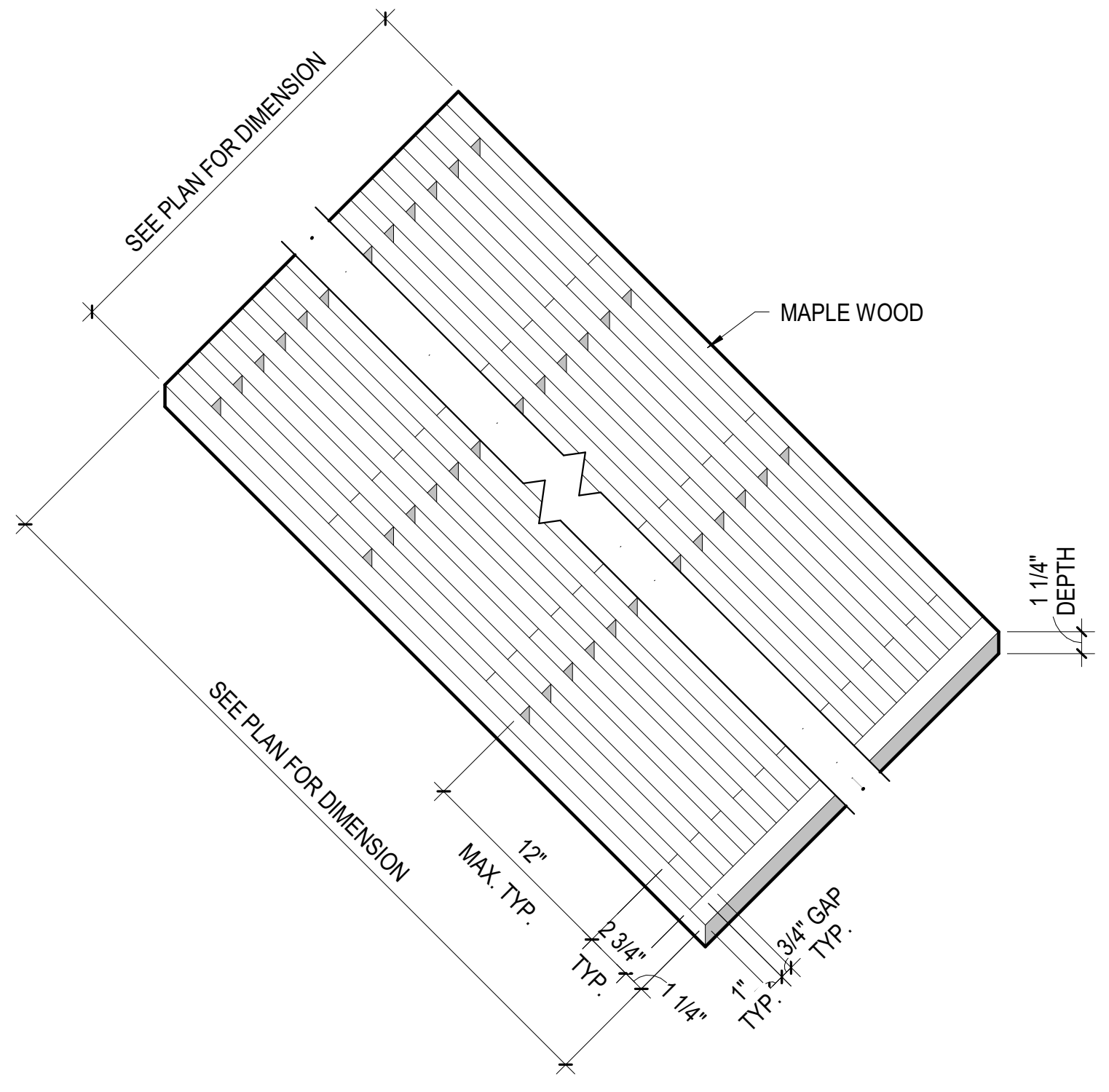
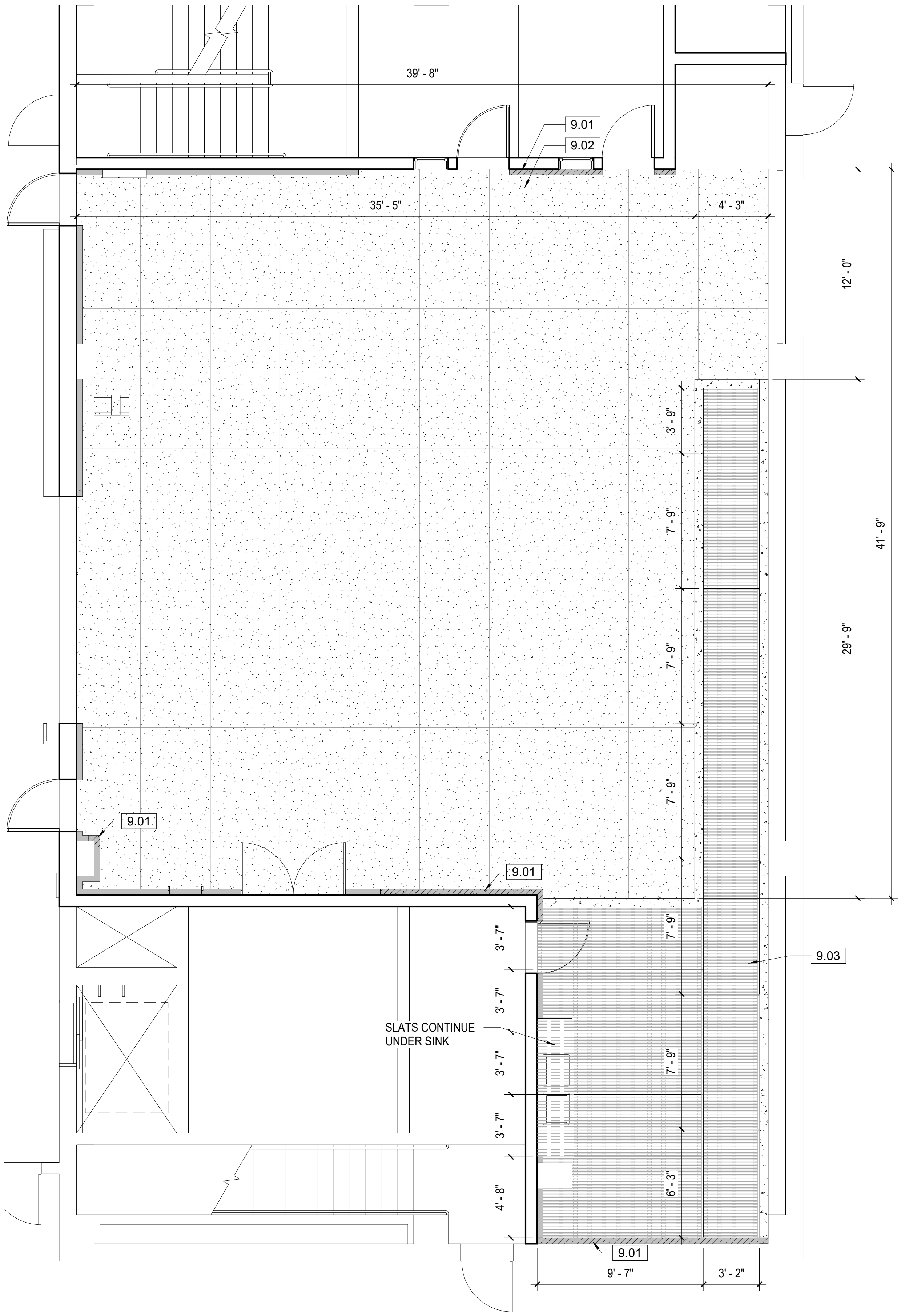
- 9.01 (N) VENTED BASE TO MATCH (E)
- 9.02 (N) 1/4" THICK HARDBOARD FACE LAMINATED PLYWOOD FLOORING
- 9.03 (N) WOODEN SLAT FLOOR PANELS, SEE DETAIL 2/A104

LEGEND

-  AREA OF DEMOLITION
-  (E) VENTED RUBBER BASE
-  (N) VENTED RUBBER BASE
-  (N) RUBBER RAMP TRANSITION STRIPS
-  (N) HARDBOARD FACE LAMINATED PLYWOOD FLOORING PER SPECS
-  (E) CONCRETE FLOOR
-  (N) LEVEL LANDING

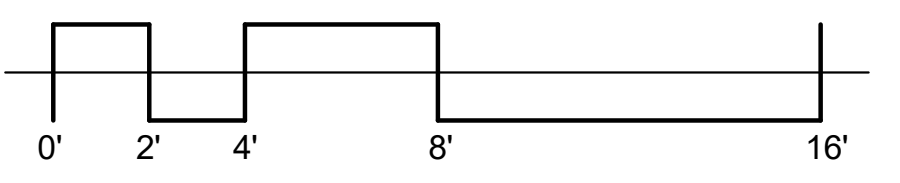
GENERAL NOTES

1. PRIOR TO INSTALLATION OF FLOORING, INSPECT SUBSTRATE AND NOTIFY OWNER OF ANY EXISTING CONDITIONS DETRIMENTAL TO INSTALLATION OF NEW WORK.
2. PLYRON SHALL BE THE HARDBOARD FACED LAMINATED PLYWOOD PRODUCT. FLOORING SHALL HAVE FLAT BLACK FINISH. FLOORING PANELS SHALL HAVE 1/16" MAXIMUM JOINT WIDTH. INSTALL PANELS WITH #8 WOOD SCREWS AT 12" ON CENTER BOTH WAYS, COUNTERSUNK.
3. VENTED BASE SHALL BE JOHNSONITE 4" X 3" VENTED BASE, OR EQUAL, WITH PREMOLDED INSIDE AND OUTSIDE CORNER PIECES.



2 WOODEN FLOOR SLAT DETAIL
1 1/2" = 1'-0"

1 SCENE SHOP NEW PLAN
1/4" = 1'-0"



PROJECT TITLE
MOORPARK COLLEGE PERFORMING ARTS - REPLACE STAGE AND SCENE SHOP FLOORING

7075 CAMPUS ROAD
MOORPARK, CALIFORNIA 93021

COMMISSIONED ARCHITECT
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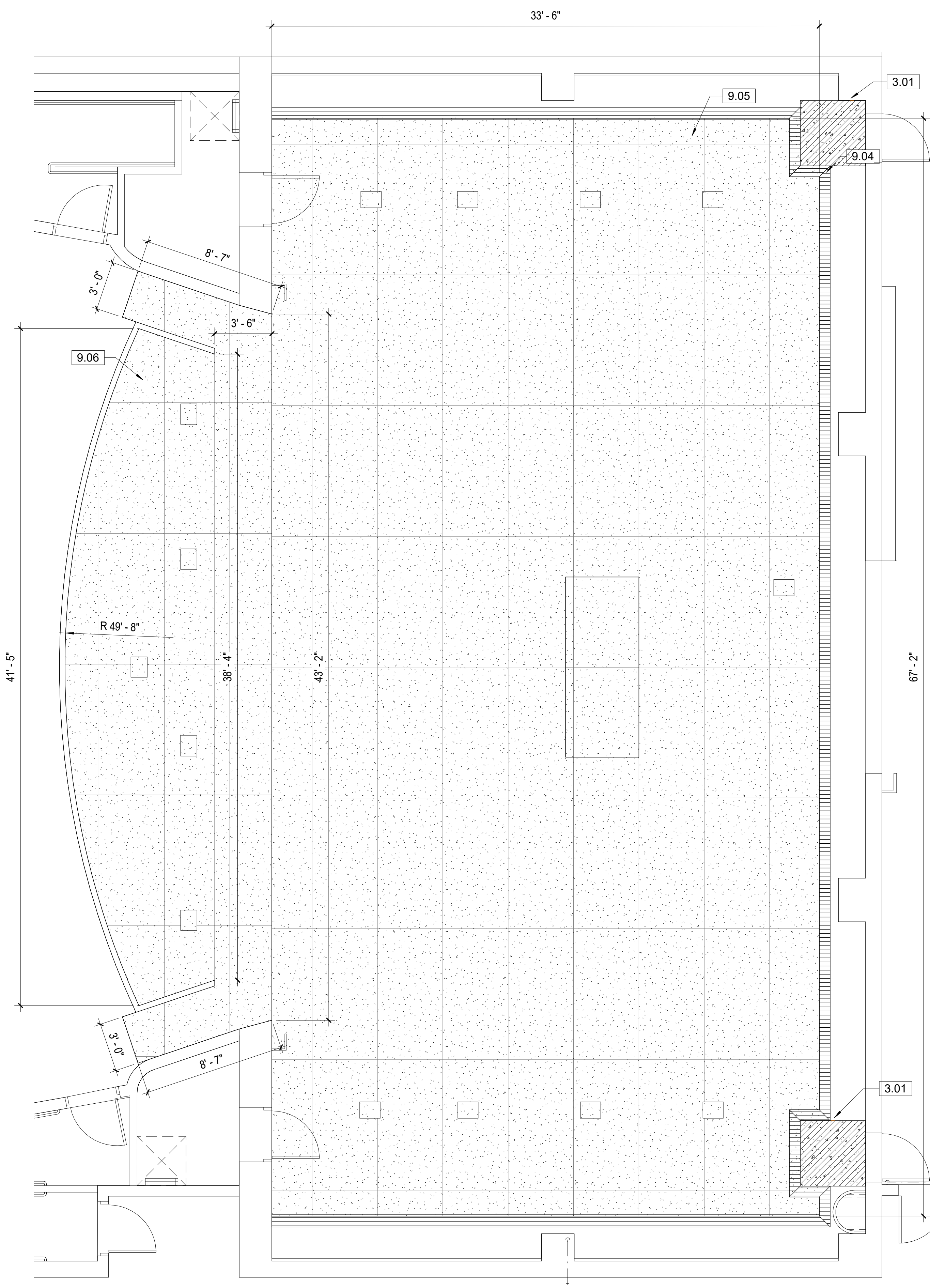
Project Status

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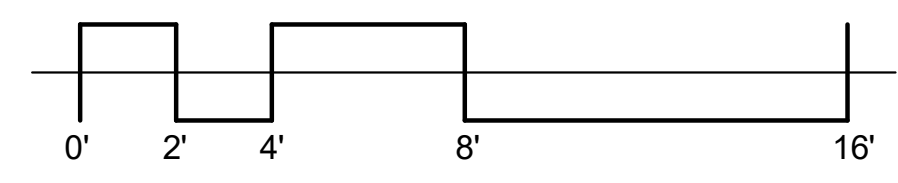
SHEET TITLE:
SCENE SHOP NEW PLAN

PROJECT NO. 020-MPC-035	PROJECT ARCHITECT WJA
DRAWN BY SAN	CHECKED BY WJA

SHEET NUMBER:
A104
DATE: 08/21/20 SHEET: ___ OF ___



1 STAGE NEW PLAN
1/4" = 1'-0"



KEYNOTE LEGEND

- 3.01 4'-0" LEVEL LANDING
- 9.04 (N) TAPERED TRANSITION EDGES AROUND FLOORING
- 9.05 (N) 3/4" THICK HARDBOARD FACE LAMINATED PLYWOOD FLOORING
- 9.06 (N) 1/2" THICK HARDBOARD FACE LAMINATED PLYWOOD FLOORING

LEGEND

- AREA OF DEMOLITION
- (E) VENTED RUBBER BASE
- (N) VENTED RUBBER BASE
- (N) RUBBER RAMP TRANSITION STRIPS
- (N) HARDBOARD FACE LAMINATED PLYWOOD FLOORING PER SPECS
- (E) CONCRETE FLOOR
- (N) LEVEL LANDING

GENERAL NOTES

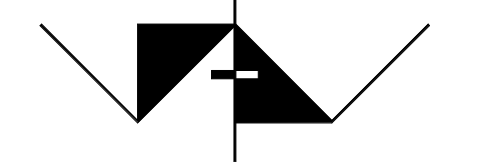
1. PRIOR TO INSTALLATION OF FLOORING, INSPECT SUBSTRATE AND NOTIFY OWNER OF ANY EXISTING CONDITIONS DETRIMENTAL TO INSTALLATION OF NEW WORK.
2. PLYRON SHALL BE THE HARDBOARD FACED LAMINATED PLYWOOD PRODUCT. FLOORING SHALL HAVE FLAT BLACK FINISH. FLOORING PANELS SHALL HAVE 1/16" MAXIMUM JOINT WIDTH. INSTALL PANELS WITH #8 WOOD SCREWS AT 12" ON CENTER BOTH WAYS, COUNTERSUNK.
3. VENTED BASE SHALL BE JOHNSONITE 4" X 3" VENTED BASE, OR EQUAL, WITH PREMOULDED INSIDE AND OUTSIDE CORNER PIECES INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
4. TAPERED TRANSITION EDGE SHALL BE SAFEPATH COURT-EDGE OR EQUAL, INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

PROJECT TITLE

**MOORPARK COLLEGE
PERFORMING ARTS -
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7075 CAMPUS ROAD
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COMMISSIONED ARCHITECT

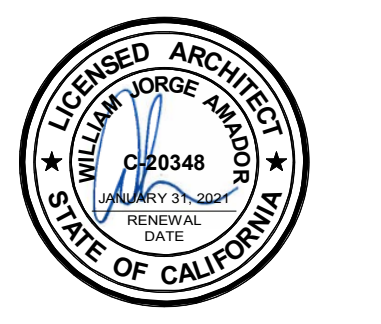


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STAMPS/SEALS



Project Status

SHEET TITLE:

STAGE NEW PLAN

PROJECT NO.	020-MPC-035	PROJECT ARCH.	WJA
DRAWN	SAN	CHECKED	WJA

SHEET NUMBER:

A105

DATE: 08/27/20 SHEET: ___ OF ___