GENERAL NOTES

- INTERPRETATION OF CONSTRUCTION DOCUMENTS
 - A. ALL INFORMATION DEPICTED IN THESE DRAWINGS AND RELATIVE TO EXISTING CONDITIONS IS BASED ON THE BEST AVAILABLE DATA AT THE TIME THESE CONSTRUCTION DOCUMENTS WERE BEING EXCECUTED, BUT WITHOUT GUARANTEE OF ACCURACY. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE AND SHALL REPORT ANY DISCREPANICES TO ARCHITECT PRIOR TO COMMENCING ANY WORK.
 - B. THE CONTRACTOR IS RESPONSIBLE FOR ALL COSTS INCURRED RESULTING FROM THE REMOVAL OR REPLACEMENT OF WORK INSTALLED WITHOUT PROPER COORDINATION TO ALL OTHER TRADES, AND/OR PRIOR TO OBTAINING CLARIFICATION FROM THE ARCHITECT WHERE CONFLICTING INFORMATION EXISTS ON THE DRAWINGS.
 - C. THE CONTRACTOR SHALL FURNISH ALL BIDDERS WITH A COMPLETE SET OF CONSTRUCTION DOCUMENTS, INCLUDING BUT NOT LIMITED TO DRAWINGS, SPECIFICATIONS AND ADDENDUMS.
- D. ALL BIDS AND LINE ITEM COSTS SUBMITTED BY THE CONTRACTOR IN CONJUNCTION WITH HIS SUBCONTRACTORS ARE CONSIDERED TO INCLUDE COMPLETE COORDINATION BETWEEN THE VARIOUS DISCIPLINES AS WELL AS ALL OTHER REQUIREMENTS OF THESE CONSTRUCTION DOCUMENTS, INCLUDING BUT NOT LIMITED TO CODE AND PUBLIC UTILITY REQUIREMENTS FURTHER, WHERE THERE ARE CONFLICTING SOLUTIONS IN THE CONSTRUCTION DOCUMENTS AND BID OR LINE ITEM COST IS SUBMITTED BY THE CONTRACTOR WITHOUT ANY FORMAL WRITTEN REQUEST FOR CLARIFICATION PRIOR TO BID OPENING. ALL SUCH ITEMS WILL BE CONSIDERED TO INCLUDE THE MOST EXPENSIVE OF THE POSSIBLE SOLUTIONS DEPICTED IN THE CONSTRUCTION DOCUMENTS.
- E. MODIFICATIONS OF DETAILS OF CONSTRUCTION SHALL NOT BE MADE WITHOUT WRITTEN APPROVAL OF THE ARCHITECT
- CONTRACTOR SHALL VISIT THE SITE TO INVESTIGATE AND VERIFY ALL DIMENSIONS AND EXISTING SITE CONDITIONS AT JOB SITE PRIOR TO START OF WORK
- ALL DIMENSIONS INDICATED ARE BELIEVED TO BE ACCURATE, BUT ARE NOT GUARANTEED TO BE SO. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT. COORDINATE WITH EXISTING CONDITIONS WHERE INSUFFICIENT DETAIL DIMENSIONS ARE AVAILABLE. ALL DIMENSIONS ARE TO FINISHED FACE OF CONSTRUCTION OR CENTERLINE OF COLUMNS UNLESS NOTED OTHERWISE. DIMENSIONS NOTED AT "CLR" (CLEAR) ARE NOT ADJUSTABLE WITHOUT ARCHITECT'S APPROVAL.
- DIMENSIONS SHOWN SHALL HAVE PREFERENCE OVER SCALE.
- ALL ITEMS INCLUDING BUILDINGS SHOWN ARE NEW UNLESS NOTED EXISTING (E).
- CONTRACTOR SHALL TAKE ALL PRECAUTIONARY MEASURES TO PROTECT EXISTING PIPELINES AND UTILITIES THAT ARE TO REMAIN IN SERVICE. CONTRACTOR SHALL VERIFY THAT THOSE PIPELINES AND UTILITIES TO BE REMOVED HAVE BEEN DISCONNECTED, SHUT DOWN OR ABANDONED PRIOR TO ATTEMPTING REMOVAL OR DEMOLITION IN A MANNER TO AVOID ANY DISRUPTION OF EXISTING FACILITIES.
- CONTRACTOR SHALL PROTECT ALL SURFACES & FIXTURES TO REMAIN DURING DEMOLITION AND CONSTRUCTION.
- ALL DAMAGE DONE TO EXISTING CONSTRUCTION AS A RESULT OF DEMOLITION OR INSTALLATION SHALL BE COMPLETELY REPAIRED BY CONTRACTOR AT OR NO COST TO OWNER. REPAIRED WORK SHALL MATCH EXISTING CONSTRUCTION
- CONTRACTOR SHALL REPAIR AND PATCH UP ALL DAMAGES TO EXISTING SURFACES CAUSED BY REMOVAL OF EXISTING EQUIPMENT ATTACHED TO EXISTING SURFACES.
- WHERE PATCHES ARE REQUIRED IN EXISTING, SURFACES ADJACENT MATERIAL SHALL BE MATCHED IN TEXTURE AND FINISH.
- 11. "DEMOLISH" AND "REMOVE" SHALL MEAN TO DEMOLISH, REMOVE FROM THE SITE AND DISPOSE OF IN A LEGAL MANNER UNLESS NOTED OTEHRWISE. TERMINATE PIPING BELOW SUBSTRATE FOR PATCHING. ELECTRICAL WIRE DISCONNECT SHALL BE AT THE SOURCE OF POWER.
- 12. SALVAGED PRODUCTS SAVED FOR OWNER AS A RESULT OF DEMOLITION ACTIVITY AND/OR PRODUCTS STORED FOR USE IN CONSTRUCTION SHALL BE STORED IN A MANNER SUCH THAT NO MATERIALS ARE DAMAGED AND PUBLIC SAFETY IS MAINTAINED.
- 13. CONTRACTOR SHALL THOROUGHLY CLEAN AND SECURE THE AREA OF CONSTRUCTION AFTER EACH DAY OF WORK. CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL CONSTRUCTION
- 14. LOCATIONS OF STRUCTURES, UNDERGROUND PIPELINES AND UTILITIES WERE OBTAINED FROM AVAILABLE RECORDS. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS AND ELEVATIONS OF ALL PIPELINES AND UTILITIES BEFORE COMMENCING DEMOLITON, EARTHWORK OR CONSTRUCTION WORK.
- GENERAL CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS PRIOR TO START OF CONSTRUCTION. ALL QUESTIONS SHALL BE SENT TO ARCHITECT.
- 16. ALL SALVAGEABLE MATERIALS AND EQUIPMENT TO BE REMOVED SHALL REMAIN THE SOLE PROPERTY OF THE OWNER. THE CONTRACTOR SHALL CONSULT WITH THE OWNER CONCERNING STORAGE AND/OR DISPOSAL OF SUCH EQUIPMENT. OWNER HAS FULL SALVAGE RIGHTS. ALL REMOVED MATERIALS OTHER THAN ITEMS TO BE SALVAGED, OR REUSED SHALL BECOME CONTRACTOR'S PROPERTY AND SHALL BE REMOVED FROM THE PROJECT SITE.
- 17. ALL WORK, INCLUDING REMOVAL OF EXISTING WORK, SHALL BE PERFORMED IN A MANNER THAT MINIMIZES THE AMOUNT OF NOISE, DUST, TRAFFIC AND/OR OTHER FORMS OF DISTURBANCES IN COMPLIANCE WITH ALL APPLICABLE CODES AND ORDINANCES SO THAT THE PUBLIC, STUDENTS AND STAFF, AS WELL AS OTHER OCCUPIED AREAS OF THE SCHOOL ARE SUBJECTED TO AS LITTLE DISRUPTION AS REASONABLY POSSIBLE.
- 18. ROUTES OF INGRESS AND EGRESS FOR MATERIALS AND WORKMEN, AND LIMITS OF THE PROJECT AREA WILL BE DESIGNATED BY THE OWNER. THE CONTRACTOR SHALL CONFINE HIS ACTIVITES WITHIN SUCH LIMITS. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ADEQUATE SAFETY AND DUST BARRIERS IN THE SITE, ACROSS CORRIDORS AND ELSEWHERE AS REQUIRED.
- 19. SHUT DOWN OF EXISTING AND OPERATING PLUMBING, MECHANICAL AND ELECTRICAL SYSTEMS OR PORTIONS THEREOF SHALL BE COORDINATED IN ADVANCE WITH THE OWNER.
- 20. CONTRACTOR SHALL COORDINATE ALL WORK SHOWN ON THE ARCHITECTURAL DRAWINGS WITH THE SPECIFICATIONS AND THE WORK SHOWN ON THE MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS. ANY DISCREPANCIES FOUND SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IN WRITIING BEFORE PROCEEDING WITH ANY RELATED WORK.
- 21. NOT USED.

MOORPARK COLLEGE SOFTBALL FIELD NEW BACKSTOP AND FENCING

7075 CAMPUS ROAD MOORPARK, CALIFORNIA 93021

VENTURA COUNTY COMMUNITY COLLEGE

BID 622 **JUNE 2021**

GENERAL NOTES

- GENERAL CONTRACTOR SHALL PROVIDE TEMPORARY EIGHT (8) FEET HIGH CHAIN LINK FENCE BARRICADES AT WORK AREAS, DISTRICT APPROVED STORAGE AREAS AND WHEREVER NECESSARY TO MAINTAIN A SAFE PASSAGE AND SAFE ENVIRONMENT
- BEFORE PROCEEDING WITH THE CORING OR CUTTING OF WALLS AND FLOORS, ETC., THE CONTRACTOR SHALL PREPARE LAYOUT OF CUTTING OR CORING AND SHALL HAVE THE APPROVAL BY THE ARCHITECT IN ORDER TO PROCEED WITH THE CUTTING OR CORING
- SAW-CUT EXISTING A.C. PAVING AND/OR CONCRETE FLOOR SLAB AS REQUIRED FOR NEW PIPE INSTALLATION AND NEW DEPRESSED CONCRETE SLAB, AND REPAIR TO MATCH EXISTING
- STRENGTH OF CONCRETE:
- A) SLABS ON EARTH, SIDEWALKS AND CURBS: 3,000 PSI AT 28 DAYS B) FOUNTATIONS: 3,000 PSI AT 28 DAYS
- THE CONTRACTOR SHALL NOT COMMENCE THE WORK, IN PART OR IN FULL, PRIOR TO OBTAINING THE NOTICE-TO-PROCEED (NTP) FROM VCCCD.
- IN CASE OF CONFLICT, THE MORE EXPENSIVE CONSTRUCTION MEANS AND METHOD SHALL BE 27.
- THE PROVISIONS OF CFC CHAPTER 14 AND CBC CHAPTER 33 SHALL BE ENFORCED ON THIS
- 29. ALL ASTM SPECIFICATIONS NOTED ON THESE DRAWINGS SHALL BE OF THE LATEST EDITION.

CONCRETE NOTES:

- 1. CONCRETE MIXES SHALL BE DESIGNED BY A RECOGNIZED TESTING LABORATORY AND CONCRETE MIX THE DESIGN SHALL BE SENT TO THE ARCHITECT AND THE ENGINEER FOR APPROVAL.
- 2. PORTLAND CEMENT SHALL CONFORM TO ASTM C-150, TYPE II, AGGREGATE FOR STONE. CONCRETE SHALL CONFORM TO ASTM C-33.
- 3. THE MAXIMUM SLUMP SHALL NOT EXCEED 4" +/- 1" FOR FOOTINGS, SLABS ON EARTH, AND MASS CONCRETE, AND 5" +/- 1" FOR OTHER CONCRETE. SLURRY SLUMP RATIO NOT EXCEED 4" +/ 1".
- 4. MINIMUM ULTIMATE COMPRESSIVE STRENGTH AT 28 DAYS SHALL BE AS FOLLOWS: (MINIMUM 5 SACKS OF CEMENT PER CUBIC YARD) (MAXIMUM WATER/CEMENT RATIO TO BE 7.5 GAL. WATER/SACK OF CEMENT).
- A. SLABS ON EARTH, SIDEWALK, FOOTINGS, CURBS ETC... ..3000 P.S.I.
- 5. CONTRACTOR SHALL SUBMIT SLAB CONSTRUCTION JOINT LAYOUT DRAWINGS TO THE ARCHITECT AND ENGINEER FOR REVIEW.
- 6. THERE SHALL BE NO FLY ASH IN THE CONCRETE MIX FOR SLABS.

REINFORCING STEEL NOTES:

- 1. ALL REINFORCING STEEL SHALL CONFORM TO THE REQUIREMENTS OF ASTM A-706 GRADE 60 FOR NO. 5 AND LARGER, ASTM A-706 GRADE 40 FOR NO. 4 AND SMALLER.
- 2. CLEAR COVERAGE OF CONCRETE OVER OUTER REINFORCING BARS SHALL BE AS FOLLOWS:
- A. CONCRETE POURED DIRECTLY AGAINST EARTH, 3" CLEAR.
- B. STRUCTURAL SLAB, 3/4" CLEAR TOP AND BOTTOM UNLESS NOTED OTHERWISE. CONCRETE FORMED AGAINST EARTH OR EXPOSED TO WEATHER, 1-1/2" CLEAR (2" CLEAR FOR 6 BARS AND LARGER)
- D. INTERIOR BEAMS AND COLUMNS, 1-1/2" CLEAR TO FACE OF STIRRUP
- E. FORMED CONCRETE NOT INCLUDED ABOVE, 3/4" CLEAR.

SUMMARY OF SCOPE OF WORK

SCOPE AS SHOWN ON DRAWINGS INCLUDING, BUT NOT LIMITED TO:

- DEMOLISH (E) BACKSTOP AND PROVIDE (N) 20' HIGH BACKSTOP SYSTEM WITH STRAIGHT POLES AND ACCESSIBLE WIDTH GATES AT (E) SOFTBALL FIELD.
- PROVIDE 4' HIGH PADDED BACKSTOP WALL.
- PROVIDE (2) NEW DRINKING FOUNTAINS.
- CONCRETE PAVING, WALLS AND STEPS.
- CMU RETAINING WALL.
- MODIFY IRRIGATION LINES AND CONTROL WIRING.

DESIGN TEAM

ARCHITECT

AMADOR WHITTLE ARCHITECTS 28328 AGOURA ROAD, SUITE 203 333 N. LANTANA ST, SUITE 287, AGOURA HILLS, CA 91301 (805) 530-3938

ENCOMPASS CONSULTANT GROUP CAMARILLO, CALIFORNIA 93010 (805) 322-4443

DSA EXEMPT

- 1. THIS PROJECT IS EXEMPT FROM DSA REVIEW, APPROVAL AND CERTIFICATION IN ACCORDANCE WITH DSA IR A-22, PARAGRAPH 1.3.1.
- 2. ALL WORK SHALL COMPLY WITH APPLICABLE CODES AS LISTED.

APPLICABLE CODES

LIST OF 2019 CALIFORNIA CODE OF REGULATIONS (C.C.R.): APPLICABLE CODE AS OF JANUARY 1, 2020

2019 CALIFORNIA BUILDING STANDARD ADMINISTRATIVE CODE, TITLE 24 C.C.R.

2019 CALIFORNIA BUILDING CODE, TITLE 24 C.C.R. (2018 INTERNATIONAL BUILDING CODE OF THE INTERNATIONAL CODE COUNCIL, WITH CALIFORNIA AMENDMENTS)

2019 CALIFORNIA PLUMBING CODE, TITLE 24 C.C.R. (2018 UNIFORM PLUMBING CODE OF THE INTERNATIONAL ASSOCIATION OF PLUMBING AND MECHANICAL OFFICIALS

PART 12- 2019 CALIFORNIA REFERENCE STANDARDS CODE, TITLE 24

DEPARTMENT OF JUSTICE REGULATIONS FOR TITLE II OF THE AMERICANS WITH DISABILITIES ACT OF 1990 WITH REVISED REGULATIONS AS PUBLISHED IN THE FEDERAL REGISTER ON SEPTEMBER 15, 2010, EFFECTIVE MARCH 15, 2012. TITLED ADA STANDARDS FOR ACCESSIBLE

DRAWING LIST

DRAWING TITLE

GENERAL

TITLE SHEET

CIVIL

CIVIL COVER CIVIL IMPROVEMENTS

CIVIL SECTIONS AND DETAILS

WALL NOTES AND DETAILS

STANDARD DETAILS

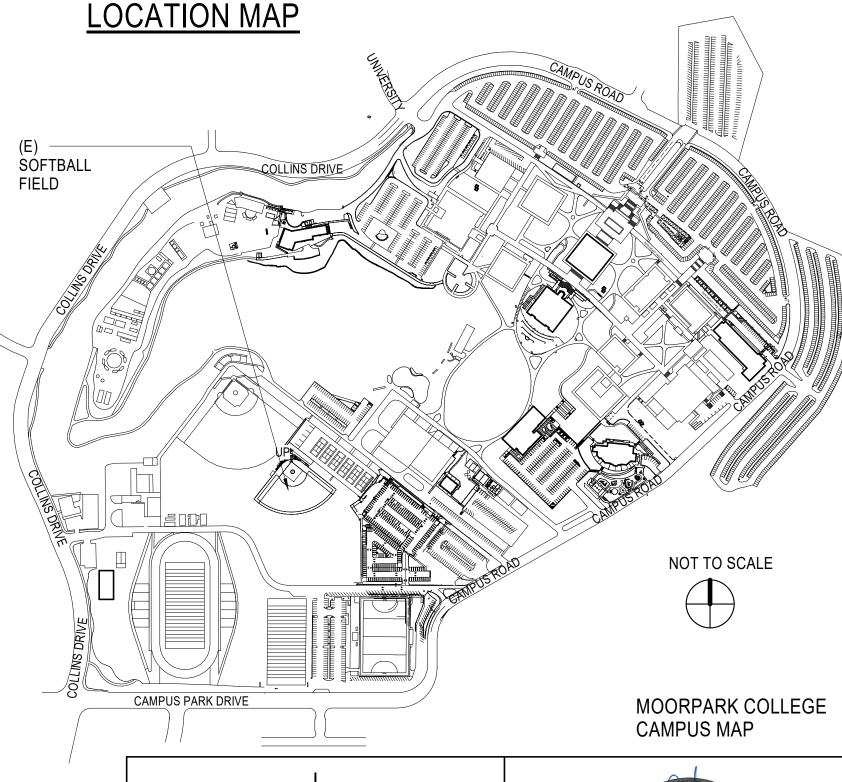
ARCHITECTURAL

SITE PLAN **DEMOLITION PLAN**

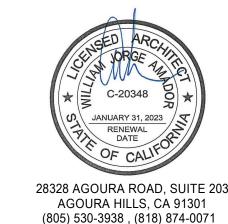
ENLARGED PLANS

ELEVATIONS & DETAILS

DETAILS







MOORPARK COLLEGE SOFTBALL FIELD NEW BACKSTOP AND FENCING

7075 CAMPUS ROAD MOORPARK, CALIFORNIA 93021

NOTE: THIS SHEET IS ONE OF A SET OF DOCUMENTS WHICH INCLUDES, BUT IS NOT LIMITED TO, DRAWINGS AND SPECIFICATIONS ADDRESSING ALL TRADES. <u>GENERAL CONTRACTOR</u> IS RESPONSIBLE FOR FURNISHING ALL BIDDERS WITH A FULL SET OF CONSTRUCTION DOCUMENTS. ALL BIDDERS SHALL REVIEW THE ENTIRE SET OF DOCUMENTS. IF THERE IS A CONFLICT BETWEEN DISCIPLINES, THE MOST EXPENSIVE OPTION SHALL BE BID.

REVISIONS DATE: 6/17/21 DRAWN: SAN CHECK: WJA JOB NO: 020-MPC-033

TITLE SHEET

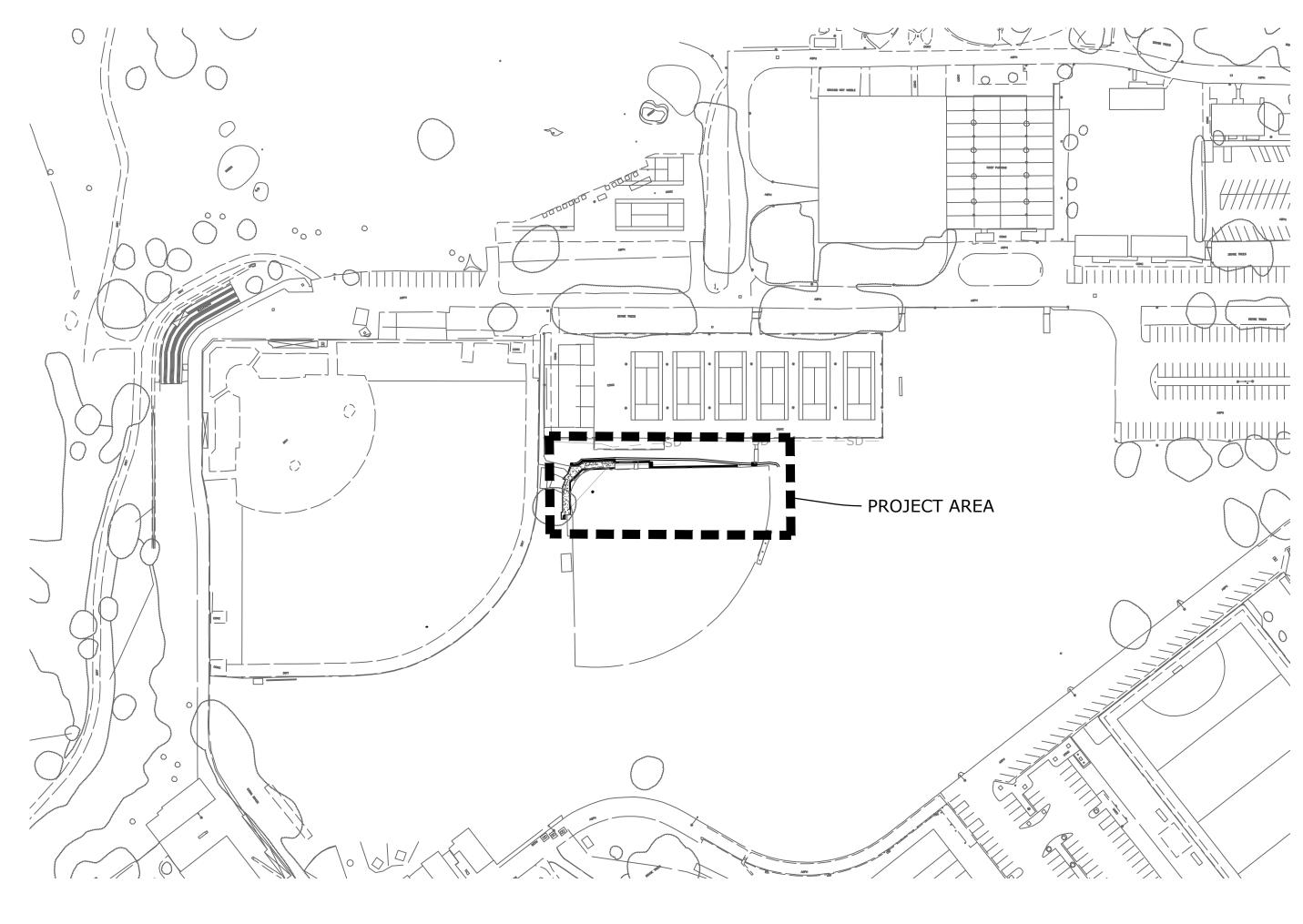
G000

IF THIS SHEET IS NOT 34" X 22", IT IS NOT FULL SIZE, SCALE DRAWINGS ACCORDINGLY

MOORPARK COLLEGE GIRLS SOFTBALL FIELD CIVIL IMPROVEMENT PLANS

GENERAL NOTES

- 1. ALL WORK SHOWN HEREON SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (SSPWC) 2021 EDITION, THE CALIFORNIA BUILDING CODE, 2019 EDITION, THE STATE OF CALIFORNIA (CALTRANS) STANDARD SPECIFICATIONS, 2015 EDITION AND STANDARD PLANS, 2015 EDITION.
- 2. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT AND SUPPORT THE UTILITIES OR SUBSTRUCTURES FOUND AT THE SITE WHETHER OR NOT EXPOSED BY CONSTRUCTION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNERS OF THE UTILITIES OR STRUCTURES CONCERNED BEFORE STARTING WORK. (72-HOURS NOTICE REQUIRED.) PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT (USA) TOLL FREE AT 811.
- 3. CONTRACTOR SHALL PROTECT ALL EXISTING PROPERTIES FROM DAMAGE.
- 4. CONTRACTOR TO MAKE HIS OWN ARRANGEMENTS FOR EQUIPMENT AND MATERIALS STORAGE AREAS.
- 5. RESTORE ALL EXISTING SURFACE AND SUBSURFACE FACILITIES DISTURBED BY CONSTRUCTION INCLUDING BUT NOT LIMITED TO TREES, FENCING, LANDSCAPING, IRRIGATION, TRAILS, ASPHALT CONCRETE ROAD PAVING, CURB AND GUTTER, CROSS GUTTER, SIDEWALK, AND UTILITIES PER CURRENT CITY STANDARDS, SPECIFICALLY BUT NOT LIMITED TO, THE CITY OF PORT HUENEME ROAD STANDARDS, THE COUNTY OF VENTURA ROAD STANDARDS, AND THE CALTRANS STANDARD SPECIFICATIONS.
- 6. POTHOLE EXISTING UTILITIES PRIOR TO CONSTRUCTION AND ADVISE ENGINEER OF CONFLICTS. CONTACT PURVEYORS OF UTILITY SYSTEMS SUCH AS ELECTRIC, TELEPHONE, CABLE TV, GAS OR OTHERS TO RELOCATE FACILITIES TO ALLOW FOR THE CONSTRUCTION SHOWN ON THESE PLANS. UTILITIES NOT SHOWN IN PROFILES AS DEPTHS ARE NOT KNOWN.
- 7. CONTRACTOR SHALL PROVIDE, IMPLEMENT, AND MAINTAIN A STORMWATER POLLUTION CONTROL PLAN (SWPCP) AND COMPLY WITH APPLICABLE REQUIREMENTS UNDER THE VENTURA COUNTY MUNICIPAL STORMWATER PERMIT, ORDER 2010-0108.



SURVEY NOTES

1. BASIS OF BEARINGS AND COORDINATES

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CALIFORNIA COORDINATE SYSTEM NAD83, ZONE 5, EPOCH (2011.0) AS DETERMINED LOCALLY BY A LINE BETWEEN CONTINUOUS GLOBAL POSITIONING STATIONS (CGPS) AND/OR CONTINUOUS OPERATING REFERENCE STATIONS (CORS) MPWD & TOST BEING SOUTH 35°20'10" EAST AS DERIVED FROM GEODETIC VALUES PUBLISHED BY THE CALIFORNIA SPATIAL REFERENCE CENTER (CSRC).

2. ELEVATIONS

THE VERTICAL DATUM OF THIS SURVEY IS THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), PER GPS TIES & GEOID MODELING (GEOID12B) TO CGPS STATION TOST. ELLIPSOID HEIGHTS ARE CONSTRAINED PER CSRC. NO COUNTY BENCHMARKS WERE MEASURED IN THIS SURVEY.

CONTROL TABLE

| POINT | NORTHING | EASTING | ELEVATION | DESCRIPTION |
|-------|------------|------------|-----------|-------------|
| 1 | 1932154.21 | 6308267.11 | 634.21 | SET 60D MAG |
| 2 | 1932233.09 | 6308369.95 | 641.77 | SET 60D MAG |
| 3 | 1932121.32 | 6308487.32 | 636.79 | SET 60D MAG |
| 6 | 1932115.92 | 6308516.98 | 642.49 | SET 60D MAG |

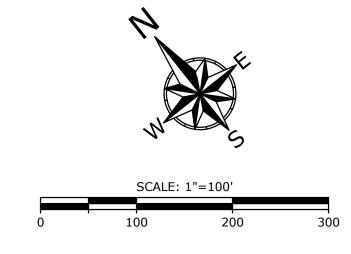
SHEET INDEX

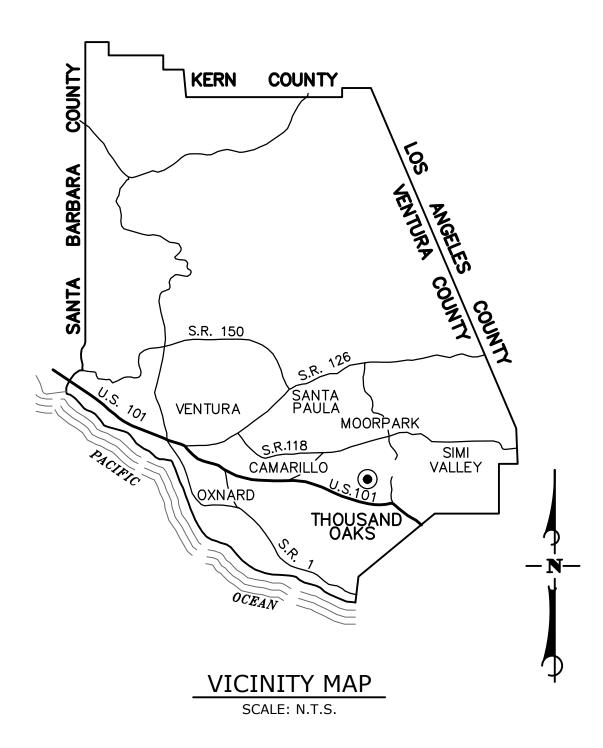
| 1.00 | CIVIL | COVER |
|------|-------|-------|

C2.00 CIVIL IMPROVEMENT PLAN
C3.00 CIVIL SECTIONS AND DETAILS

24.00 WALL NOTES AND DETAILS

5.00 STANDARD DETAILS











MOORPARK COLLEGE SOFTBALL FIELD NEW BACKSTOP AND FENCING

7075 CAMPUS ROAD MOORPARK, CALIFORNIA 93021

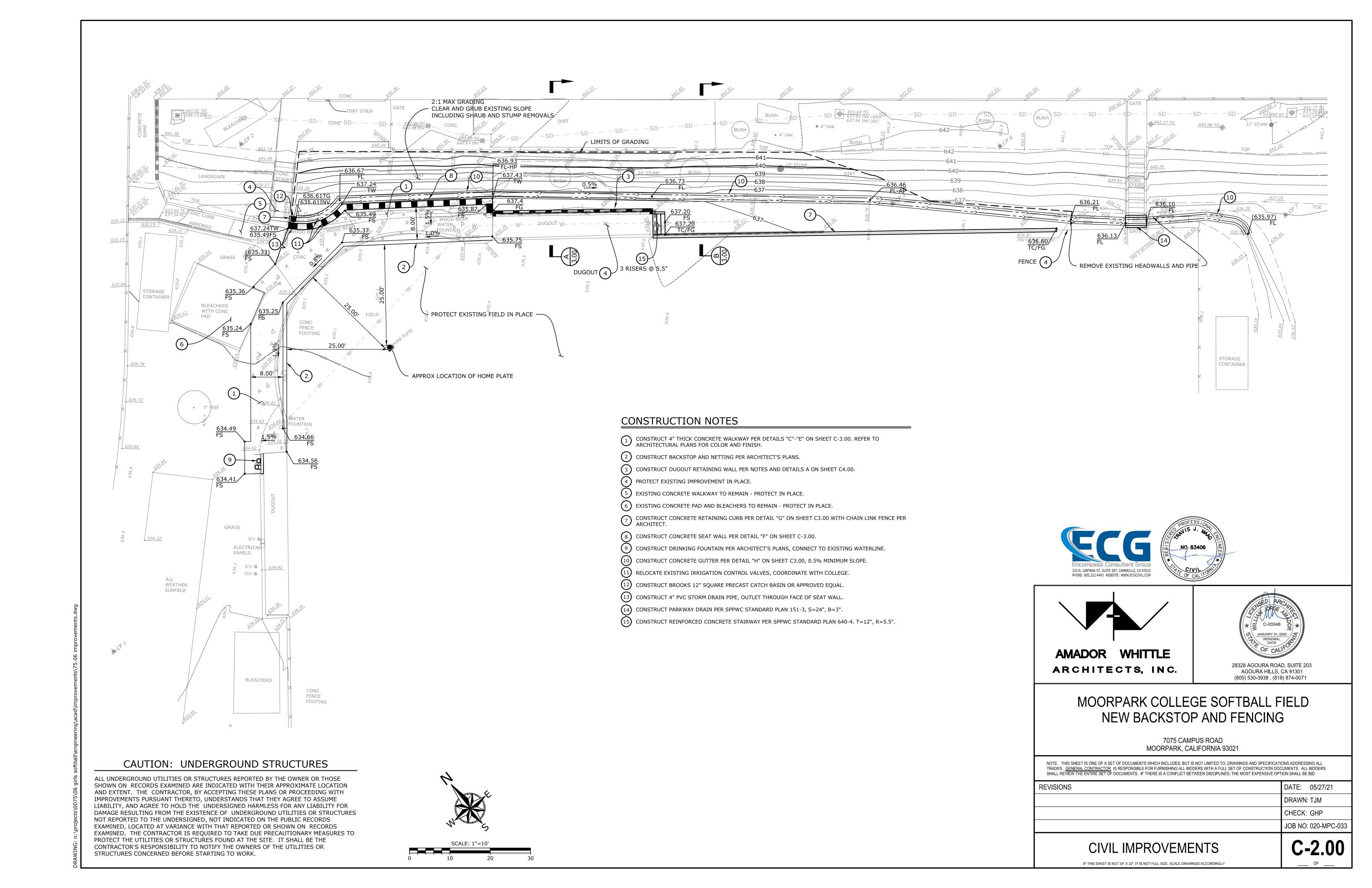
NOTE: THIS SHEET IS ONE OF A SET OF DOCUMENTS WHICH INCLUDES, BUT IS NOT LIMITED TO, DRAWINGS AND SPECIFICATIONS ADDRESSING ALL TRADES. <u>GENERAL CONTRACTOR</u> IS RESPONSIBLE FOR FURNISHING ALL BIDDERS WITH A FULL SET OF CONSTRUCTION DOCUMENTS. ALL BIDDERS SHALL REVIEW THE ENTIRE SET OF DOCUMENTS. IF THERE IS A CONFLICT BETWEEN DISCIPLINES, THE MOST EXPENSIVE OPTION SHALL BE BID.

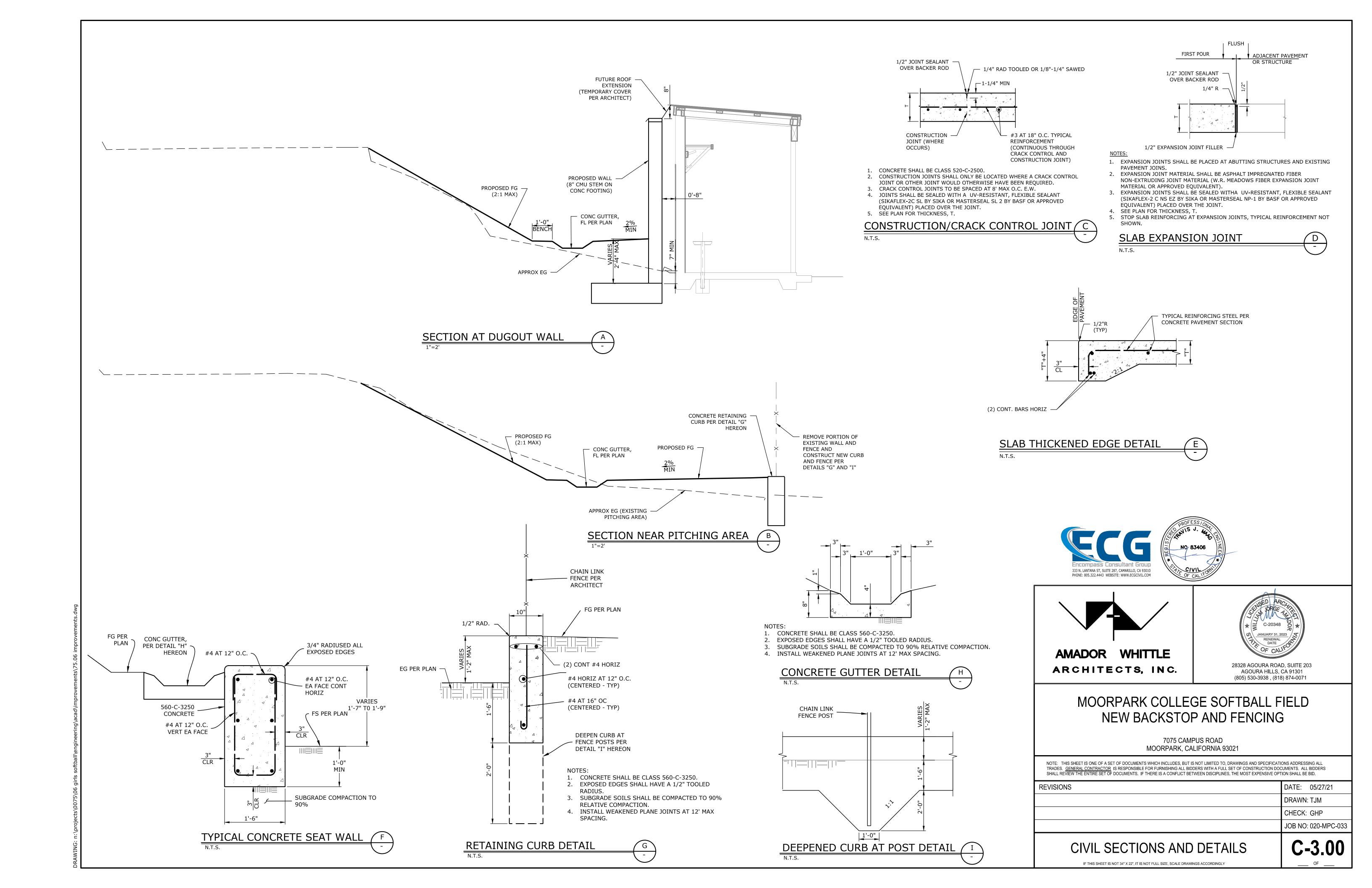
| | C 1 00 |
|----------|---------------------|
| | JOB NO: 020-MPC-033 |
| | CHECK: GHP |
| | DRAWN: TJM |
| EVISIONS | DATE: 05/27/21 |

CIVIL COVER

IF THIS SHEET IS NOT 34" X 22", IT IS NOT FULL SIZE, SCALE DRAWINGS ACCORDINGLY

C-1.00





GENERAL NOTES

- 1. CONSTRUCTION SHALL CONFORM TO THE 2019 CALIFORNIA BUILDING CODE (CBC) AND THE 2018 STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (GREENBOOK).
- 2. WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT EDITION OF THE STATE OF CALIFORNIA CONSTRUCTION SAFETY ORDERS (CAL-OSHA).
- 3. THE GENERAL CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT AND/OR APPROPRIATE UTILITY AGENCIES TO VERIFY AND LOCATE ALL EXISTING UNDERGROUND UTILITIES BEFORE COMMENCING ANY EXCAVATION
- 4. THE LOCATIONS OF EXISTING AND NEW UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY; ALL UTILITIES MAY NOT BE SHOWN.
- 5. DUST SHALL BE CONTROLLED AT ALL TIMES DURING CONSTRUCTION, EXCAVATION, AND GRADING.
- 6. PROVIDE MEANS TO PREVENT SURFACE WATER FROM ENTERING EXCAVATIONS.
- 7. TEMPORARY CUTS SHALL NOT EXCEED SLOPES RECOMMENDED IN THE SOILS REPORT NOR THOSE SHOWN ON THE PLANS.
- 8. ALL FOUNDATION EXCAVATIONS AND SUBGRADES SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF REINFORCING STEEL.

REINFORCING STEEL

- 1. REINFORCING STEEL SHALL CONFORM TO ASTM A-615, GRADE 60.
- 2. REINFORCING SHALL BE PLACED IN ACCORDANCE WITH THE DRAWINGS AND SHALL BE HELD FIRMLY IN PLACE PRIOR TO PLACING CONCRETE.
- 3. HOOKS SHALL BE STANDARD HOOKS PER ACI 318, SECTION 25.3 UNLESS DETAILED OTHERWISE.
- 4. LAP SPLICES SHALL BE PER ACI 318.
- 5. DOWELS SHALL BE THE SAME SIZE AND SPACING AS THE VERTICAL REINFORCING UNLESS NOTED OTHERWISE.
- 6. BARS SHALL BE CLEAN OF RUST, GREASE OR OTHER MATERIAL THAT MAY IMPAIR BOND.

CONCRETE FOR FOOTINGS

- 1. MINIMUM STRENGTH OF CONCRETE SHALL BE 3,250 PSI AT 28 DAYS.
- 2. CEMENT SHALL BE ASTM C-150, TYPE II/V; MAX SLUMP 4-INCHES.
- 3. THE MAXIMUM WATER-CEMENT RATIO SHALL BE 0.50 UNLESS OTHERWISE NOTED.
- 4. AGGREGATES SHALL BE NATURAL SAND AND ROCK CONFORMING TO ASTM C-33; 3/4" MAXIMUM SIZE AGGREGATE.
- 5. ADMIXTURES SHALL CONFORM TO ASTM C-494, ASTM C-260, ASTM C-350 AND/OR ASTM C-402, AS APPLICABLE.
- 6. THE CONCRETE MIX DESIGN SHALL SUBMITTED TO THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO
- 7. FINISH FOR HORIZONTAL CONCRETE SURFACE SHALL BE FINE BROOM FINISH IN A DIRECTION PERPENDICULAR TO THE MAIN DIRECTION OF TRAVEL; VERTICAL SURFACES SHALL BE HARD STEEL TROWEL OR FORM FINISH.

WALL NOTES

- 1. A CONTINUOUS 12-INCH WIDE GRAVEL COLUMN WRAPPED IN FILTER FABRIC SHALL BE PLACED AT THE BACK OF WALL FROM THE TOP OF FOOTING ELEVATION TO WITHIN 18" OF FINISHED SURFACE. FILTER FABRIC SHALL BE MIRAFI 140-NC OR APPROVED EQUIVALENT.
- 2. THE PERFORATED PIPE LINE SHALL EXTEND TO DAYLIGHT OR CONNECT TO SITE STORM DRAIN. THE PIPE SHALL BE SLOPED TO PROMOTE DRAINAGE, PERFORATIONS SHALL BE POINTED DOWN AT 5- AND 7-0'CLOCK. HEAD JOINTS ON MASONRY WALLS MAY BE OMITTED IN THE FIRST COURSE ABOVE FINISH GRADE PROVIDED SPEED-BLOCK IS NOT USED. WHERE SPEED-BLOCK IS USED, THE WALL SHALL BE CORED AND SLEEVED WITH 4-INCH DIAMETER SLEEVES AT LOCATIONS SHOWN PER PLAN. THE CORING AND SLEEVING SHALL BE DONE PRIOR TO GROUTING THE WALL. HOLES SHALL BE ANGLED SO AS TO PROMOTE DRAINAGE. AT THE CONTRACTOR'S OPTION, THE CORING MAY BE PERFORMED AFTER THE WALL IS GROUTED, PROVIDED THE HOLES DO NOT DAMAGE THE VERTICAL STEEL. LOCATION OF THE VERTICAL STEEL SHALL BE MARKED PRIOR TO GROUTING OR AFTER BY X-RAY OR OTHER APPROVED METHODS.
- 3. GRANULAR BACKFILL MATERIAL SHALL BE PLACED BEHIND THE WALL STEM AT A 45-DEGREE LINE PROJECTED FROM THE BACK OF FOOTING TO 1-FOOT FROM DAYLIGHT. BACKFILL SHALL BE FREE OF ORGANIC MATERIAL, CONSTRUCTION DEBRIS, COBBLES AND BOULDERS. BACKFILL SHALL BE NON-EXPANSIVE, FREE-DRAINING (SE 30 OR GREATER), CLEAN SAND OR GRAVEL, AS RECOMMENDED BY THE PROJECT GEOTECHNICAL ENGINEER AND APPROVED PRIOR TO USE. THE TOP 12" OF FINAL BACKFILL SHALL BE NATIVE OR TOP SOIL, TO PROMOTE PLANT GROWTH.
- 4. PRIOR TO BACKFILL OR THE APPLICATION OF THE DRAINAGE SYSTEM BEHIND THE WALL, THE RETAINING PORTION OF THE STEM IN CONTACT WITH SOIL SHALL BE SEALED WITH A ONE-COMPONENT, MOISTURE-CURING, BITUMEN-MODIFIED POLYURETHANE ELASTOMERIC WATERPROOFING MEMBRANE (787 ELASTOMERIC FLUID-APPLIED WATERPROOFING MEMBRANE BY HENRY, OR APPROVED EQUIVALENT). WATERPROOFING MEMBRANE SHALL BE PROTECTED FROM DAMAGE DURING WALL BACKFILL.
- 5. WALL STEMS SHALL HAVE A 3/8-INCH WIDE EXPANSION JOINT (EJ) AT INTERVALS NOT TO EXCEED 24-FEET ON-CENTER. SEE TYPICAL DETAILS ON SHEET 8.
- 6. VERTICAL EXPANSION JOINTS ON THE PORTION OF WALL ABOVE FINISHED GRADE SHALL BE SEALED WITH A UV-RESISTANT, FLEXIBLE SEALANT (MASTERSEAL NP-1 BY BASF OR SIKAFLEX-2 C NS EZ BY SIKA OR APPROVED EQUIVALENT) PLACED OVER THE JOINT.

MASONRY FOR SCREEN WALLS

- 1. CONCRETE MASONRY UNITS SHALL BE PRECISION FINISH COLOR PER ARCHITECT AND CONFORM TO ASTM C90 LOAD-BEARING CONCRETE MASONRY UNITS, MEDIUM WEIGHT BLOCK (GRADE N).
- 2. MORTAR CEMENT FOR REINFORCED MASONRY SHALL CONFORM ASTM C1329, TYPE M OR S. PRE-BLENDED MORTAR IS ALSO ACCEPTABLE PROVIDED IT CONFORMS TO ASTM C-270.
- 3. MORTAR FOR REINFORCED MASONRY SHALL CONFORM TO ASTM C270, TYPE M OR TYPE S. MORTAR PROPORTIONS BY VOLUME SHALL BE PER MORTAR PROPORTION TABLE HEREON.
- 4. NET AREA COMPRESSIVE STRENGTH OF CONCRETE MASONRY UNIT SHALL BE 1,900 PSI. NET COMPRESSIVE STRENGTH OF MASONRY WITH TYPE M OR S MORTAR SHALL BE 1,500PSI.
- GROUT SHALL CONFORM TO ASTM C476-16 FOR FINE GROUT. GROUT PROPORTIONS BY VOLUME SHALL BE: 1
 PART PORTLAND CEMENT OR BLENDED CEMENT, MAXIMUM 1/10 PART HYDRATED LIME OR LIME PUTTY, AND 2-1/4
 TO 3 PARTS FINE AGGREGATE AS DEFINED IN ASTM C33-16. GROUT FOR MASONRY SHALL BE THE SAME
 STRENGTH AS THE MASONRY COMPRESSIVE STRENGTH (1,900 PSI) BUT SHALL NOT BE LESS THAN 1,500 PSI
 (MINIMUM) NOR EXCEED 2,000 PSI (MAXIMUM) AT 28 DAYS. USE OF COURSE GROUT MAY BE REQUESTED IN
 ADVANCE BY THE CONTRACTOR IN WRITING FOR APPROVAL BY THE PROJECT ENGINEER.
- 6. GROUT SHALL BE PLACED IN ACCORDANCE WITH THE SPECIFICATION FOR MASONRY STRUCTURES (TMS 602-13/ACI 530.1-13/ASCE 6-13) SECTION 3.5. GROUT POURS MAY BE PLACED THE FULL HEIGHT OF THE WALL, NOT TO EXCEED 24 FEET. CLEANOUTS SHALL BE PROVIDED IN THE BOTTOM COURSE OF MASONRY, SPACED HORIZONTAL A MAXIMUM OF 32" ON-CENTER, WHEN THE GROUT POUR HEIGHT EXCEEDS 5-FEET (SPECIFICATION SECTION 3.2 F.). GROUT LIFT HEIGHT SHALL NOT EXCEED 5-FEET.
- 7. LAY BLOCK IN RUNNING BOND, UNLESS OTHERWISE NOTED. USE SPECIAL SHAPED UNITS FOR BOND BEAMS AT THE LOCATION OF HORIZONTAL STEEL. TOOL EXPOSED JOINTS CONCAVE. FLUSH CUT JOINTS SHALL BE MADE WHERE MASONRY SURFACES ARE TO RECEIVE COATINGS.
- 8. ALL CELLS FOR MASONRY WALLS SHALL BE FILLED WITH GROUT AND ADEQUATELY CURED PRIOR TO BACKFILLING. SEGREGATION OF GROUT MATERIALS SHALL BE AVOIDED. ALL GROUT SHALL BE MECHANICALLY VIBRATED IN PLACE BEFORE LOSS OF PLASTICITY IN A MANNER TO FILL THE GROUT SPACE. GROUT LIFTS IN EXCESS OF 5' SHALL UTILIZE CLEAN-OUTS. GROUTING OF ANY SECTION OF WALL SHALL BE COMPLETE IN ONE DAY WITH NO INTERRUPTIONS IN EXCESS OF ONE HOUR.

REINFORCING BAR LAP SPLICE SCHEDULE (in) MASONRY* CONCRETE** f'm (psi) 1500 2500 3250 4000

| D.A.D. 0777 | MASONICI | | conten | KE 1 E | |
|------------------------|-----------|--------|--------|--------|------|
| BAR SIZE (UNCOATED) | f'm (psi) | | f'c (| psi) | |
| , | 1500 | 2500 / | 3250 | 4000 | 5000 |
| #4 | 26 | 32 | 28 | 25 / | 23 |
| #5 | 40 | 39 | 35 | 31/ | 28 |
| #6 | 72 | Aλ | 42 | ß | 34 |
| #7 | 84 | 69 | 60 | 54 | 49 |
| #8 | 96 | 78 | 69 | 62 | 56 |

*BARS #4-#6 CALCULATED PER TMS 402-16/ACI 530-16/ASCE 5-16 8.1.6.7.1.1, AND BARS #7-#8 CALCULATED PER CBC 2107.2.1
**PER ACI 318-14 25.4.2.2

| | MORTAR PROPORTIONS | | | | | | | | |
|---------|--------------------|----------------------------------|---|----------------------------|---|---------------------|---|---|--------------------------------|
| MORTAR | TYPE | PORTLAND CEMENT OR BLENDED | | MASONRY CEMENT M S N | | MORTAR CEMENT | | | HYDRATED LIME OR LIME PUTTY |
| | | CEMENT | М | | | М | S | N | 0.0 = 1.0 = 0.0 . |
| CEMENT | М | 1 | ı | - | ı | ı | 1 | - | 1/4 |
| LIME | S | 1 | 1 | | 1 | 1 | 1 | 1 | OVER 1/4 TO 1/2 |
| MORTAR | M 1 | | 1 | - | - | OVER 1-1/4 TO 2-1/2 | | | |
| CEMENT | S | - | - | - | - | - | 1 | - | - |
| MASONRY | М | - | 1 | - | - | - | - | - | - |
| CEMENT | S | - | - | 1 | - | - | - | - | - |

STATEMENT OF SPECIAL INSPECTIONS

IN ADDITION TO THE REGULAR INSPECTIONS, THE OWNER SHALL EMPLOY A QUALIFIED SPECIAL INSPECTOR IN ACCORDANCE WITH SECTION 1704 & 1705 OF THE 2016 CBC TO PERFORM THE FOLLOWING WORK:

| TYPE OF WORK | DES | <u>SCRIPTION</u> |
|------------------------|-----|--|
| 1. STRUCTURAL CONCRETE | 1. | SEE CONCRETE SPECIAL INSPECTIONS TABLE. (CBC 1705.3) |
| 2. MASONRY | 2. | SEE MASONRY SPECIAL INSPECTIONS TABLE. (CBC 1705.4) |
| 3. SOIL | 3. | SEE SOIL SPECIAL INSPECTION TABLE. (CBC 1705.6) |

| | CE | BC TABLE 1 | 705.3 | | | | |
|---|------------|------------|---|---------------------------|---|--|--|
| REQUIRED VERIFICATION AND INSPECTION OF CONCRETE CONSTRUCTION | | | | | | | |
| VERIFICATION AND INSPECTION | CONTINUOUS | PERIODIC | REFERENCED STANDARD | IBC REFERENCE | APPLICABLE TO WORK IN THIS PLAN SET | | |
| Inspection of reinforcing steel, including prestressing tendons, and placement. | - | х | ACI 318: 3.5, 7.1-7.7 | 1910.40 | х | | |
| 2. Inspection of reinforcing steel welding in accordance with Table 1705.2.2, Item 2b. | - | - | AWS D1.4 & ACI 318:3.5.2 | - | - | | |
| 3. Inspection of anchors cast in concrete where allowable loads have been increased or where strength design is used. | - | х | ACI 318: 8.1.3 & 21.2.8 | 1908.5 & 1909.1 | - | | |
| Inspection of anchors post-installed in hardened concrete members. | - | х | ACI 318: 3.8.6, 8.1.3, 21.2.8 | 1909.10 | - | | |
| 5. Verifying use of required design mix. | - | Х | ACI 318: Ch. 4 & 5.2-5.4 | 1904.2, 1910.2, 1910.3 | х | | |
| 6. At the time fresh concrete is sampled to fabricate specimens for strength tests, perform slump and air content tests, and determine the temperature of the concrete. | х | - | ASTM C 172 ASTM C 31 ACI 318: 5.6 & 5.8 | 1910.10 | х | | |
| 7. Inspection of concrete and shotcrete placement for proper application techniques. | Х | - | ACI 318: 5.9 & 5.10 | 1910.6, 1910.7, 1910.8 | - | | |
| Inspection for maintenance of specified curing temperature and techniques. | - | Х | ACI 318: 5.11-5.13 | 1910.90 | х | | |
| 9. Inspection of prestressed concrete: | | • | | | | | |
| a. Application of prestressing forces. | Х | - | | | | | |
| b. Grouting of bonded prestressing tendons in the seismic-force-resisting system. | Х | - | ACI 318: 18.20 & ACI 318: 18.18.4 | - | - | | |
| 10. Erection of precast concrete members. | - | Х | ACI 318: Ch. 16 | - | - | | |
| 11. Verification of in-situ concrete strength, prior to stressing of tendons in postensioned concrete and prior to removal of shores and forms from beams and structural slabs. | - | х | ACI 318: 6.2 | - | - | | |
| 12. Inspect formwork for shape, location and dimensions of the concrete member being formed. | - | Х | ACI 318: 6.1.1 | - | х | | |

EXEMPT FROM SPECIAL INSPECTION:

Concrete Patios, Driveways and Sidewalks on grade per CBC 1705.2.5

Concrete footings that support walls of buildings <=3 stories, supported on earth and design f'c is <= 2,500 psi, per CBC 1705.2.2.3.

| Vei | ification of Slump flow and Visual Stabilit Article | y Index VSI as delivered | | in accordance wit | h Specification |
|--------|---|--|----------------------------|----------------------------|---------------------------------|
| Verif | cation of f 'm and f 'AAC in accordance w | vith Specification Article exempted by this Co | | struction, except w | here specifically |
| | | MINIMUM INSPECTION | DN(d) | | |
| | | | FREQUENCY O | F INSPECTION(a) | APPLICABLE TO WORK IN THIS PLAN |
| | INSPECTION TASK | | CONTINUOUS | PERIODIC | SET |
| 1. Ver | ify compliance with the approved submitt | als | | X | X |
| 2. As | masonry construction begins, verify that t | the following are in com | oliance: | | |
| | a. Proportions of site-prepared mortar | | | Х | Х |
| | b. Construction of mortar joints | | | Х | Х |
| | c. Grade and size of prestressing tendor | | | | |
| | d. Location of reinforcement, connectors tendons and anchorages. | , and prestressing | | X | х |
| | e. Prestressing technique | | | X | |
| | f. Properties of thin-bed mortar for AAC r | masonry | X(b) | X(c) | |
| 3. Pri | or to grouting, verify that the following are | in compliance: | | | |
| | a. Grout space | | | Х | Х |
| | b. Grade, type, and size of reinforcemen prestressing tendons, and anchorages | | | Х | х |
| | c. Placement of reinforcement, connecto tendons and anchorages | rs, and prestressing | | Х | х |
| | d. Proportions of site-prepared grout and bonded tendons | I prestressing grout for | | Х | х |
| | e. Construction of mortar joints | | | Χ | X |
| 4. Vei | ify during construction: | | | | |
| | a. Size and location of structural elemen | ts | | X | Х |
| | Type, size, and location of anchors, in anchorage of masonry to structural mem construction | | | x | x |
| | c. Welding of reinforcement | | Х | | - |
| | d. Preparation, construction and protectic cold weather (temperature below 40°F) of (temperature above 90°F) | | | Х | x |
| | e. Application and measurement of prest | tressing force | Х | | |
| | f. Placement of grout and prestressing greendons is in compliance | rout for bonded | X | | |
| | g. Placement of AAC masonry units and thin-bed mortar joints | construction of | X(b) | X(c) | |
| | serve preparation of grout specimens, mo r prisms | | | Х | х |
| | Frequency refers to the frequency of inspection, whi table. | | ne task listed or periodic | cally during the listed ta | sk, as defined in the |
| (b) | Required for the first 5000 square feet of | AAC masonry. | | | |
| | Required for the first 5000 square feet of | <u>-</u> | | | |
| (d) | Special Inspection is not required for Veraccordance with TMS 402 Section 1.19. approved submittals. | | | | |
| * | The above table is a composite of TMS 4 | 402 Table 1.19.2, TMS 6 | 602 Table 4, and o | ther sections of Co | ode. |
| | | CBC TABLE 1705 | 5.6 | | |
| | REQUIRED VE | ERIFICATIONS AND IN | SPECTION OF SO | DILS | |
| | | CONTINUOUS DURING TASK | PERIODICAL DURING TAS | .LY | ABLE TO WORK |
| | FICATION AND INSPECTION TASK | LISTED | LISTED | IN TH | IS PLAN SET |
| | ify materials below shallow foundations dequate to achieve the design bearing ity. | - | х | | х |

CBC 1705.4

TMS 402 Table 1.19.2 - LEVEL B QUALITY ASSURANCE OF MASONRY CONSTRUCTION*

MINIMUM TESTS(d)

| | CBC TABLE 1705.6 | | | | | | | |
|--|-------------------------------------|---------------------------------------|-------------------------------------|--|--|--|--|--|
| REQUIRED VE | RIFICATIONS AND IN | SPECTION OF SOILS | | | | | | |
| VERIFICATION AND INSPECTION TASK | CONTINUOUS DURING TASK LISTED | PERIODICALLY DURING TASK LISTED | APPLICABLE TO WORK IN THIS PLAN SET | | | | | |
| Verify materials below shallow foundations are adequate to achieve the design bearing capacity. | - | X | х | | | | | |
| Verify excavations are extended to proper depth and have reached proper material. | - | Х | х | | | | | |
| Perform classification and testing of compacted fill materials. | - | Х | х | | | | | |
| Verify use of proper materials, densities, and lift thicknesses during placement and compaction of compacted fill. | Х | - | х | | | | | |
| 5. Prior to placement of compacted fill, observe subgrade and verify that site has been prepared properly. | - | х | х | | | | | |

STRUCTURAL DESIGN CRITERIA: RETAINING WALLS

| FLOOR LIVE LOAD: | N/A |
|--|---|
| ROOF LIVE LOAD: | N/A |
| ROOF SNOW LOAD: | N/A |
| WIND DESIGN DATA: BASIC DESIGN WIND SPEED WIND RISK CATEGORY WIND EXPOSURE CATEGORY INTERNAL PRESSURE COEFF. DESIGN WIND FORCE (FREESTANDING WALLS) | CBC 1603.1.4 95 mph II C N/A N/A |
| EARTHQUAKE DESIGN DATA: SEISMIC IMPORTANCE FACTOR RISK CATEGORY MAPPED SPECTRAL RESPONSE ACCELERATIONS SITE CLASS SPECTRAL RESPONSE ACCELERATIONS SEISMIC DESIGN CATEGORY SEISMIC FORCE RESISTING SYSTEM DESIGN BASE SHEAR SEISMIC RESPONSE COEFFICIENT RESPONSE MODIFICATION FACTOR ANALYSIS PROCEDURE USED | CBC 1603.1.5 1.0 II Ss = 1.984, S1 = 0.729 D Sps = 1.587 D N/A N/A N/A N/A N/A EQUIVALENT LATERAL FOR |

SOIL DESIGN DATA (PER CBC TABLE 1806.2 - SM PREDOMINANT SOIL TYPE AT SURFACE):

<u>SPECIAL LOADS:</u>

DESIGN BEARING PRESSURE

LATERAL PASSIVE

COEFFICIENT OF FRICTION

SOIL ACTIVE PRESSURE

FLOOD DESIGN DATA:

1500 PSF

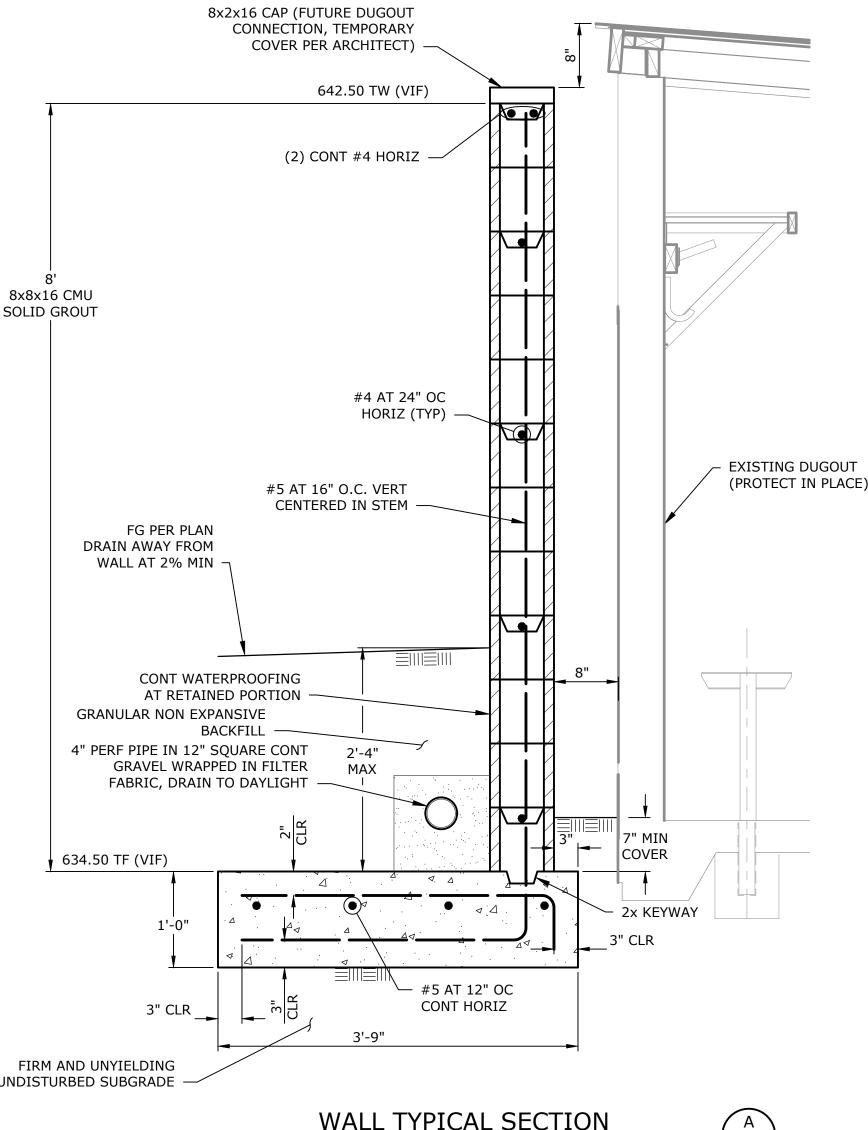
1500 PCF (1/3 INCREASE FOR SHORT DURATION LOADING)

0.25

45 PCF

N/A

N/A









MOORPARK COLLEGE SOFTBALL FIELD NEW BACKSTOP AND FENCING

7075 CAMPUS ROAD MOORPARK, CALIFORNIA 93021

NOTE: THIS SHEET IS ONE OF A SET OF DOCUMENTS WHICH INCLUDES, BUT IS NOT LIMITED TO, DRAWINGS AND SPECIFICATIONS ADDRESSING ALL TRADES. GENERAL CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL BIDDERS WITH A FULL SET OF CONSTRUCTION DOCUMENTS. ALL BIDDERS SHALL REVIEW THE ENTIRE SET OF DOCUMENTS, IF THERE IS A CONFLICT BETWEEN DISCIPLINES, THE MOST EXPENSIVE OPTION SHALL BE BID.

REVISIONS

DATE: 05/27/21

DRAWN: TJM

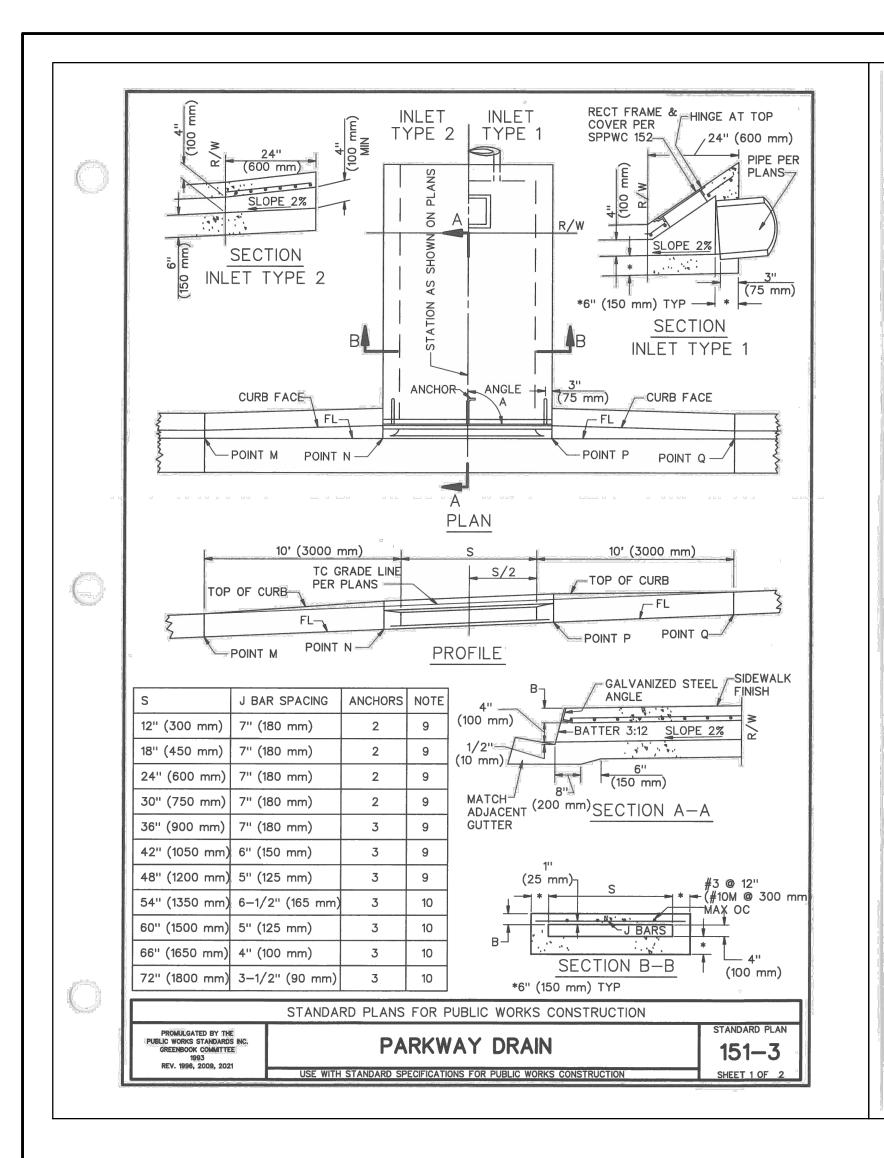
CHECK: GHP

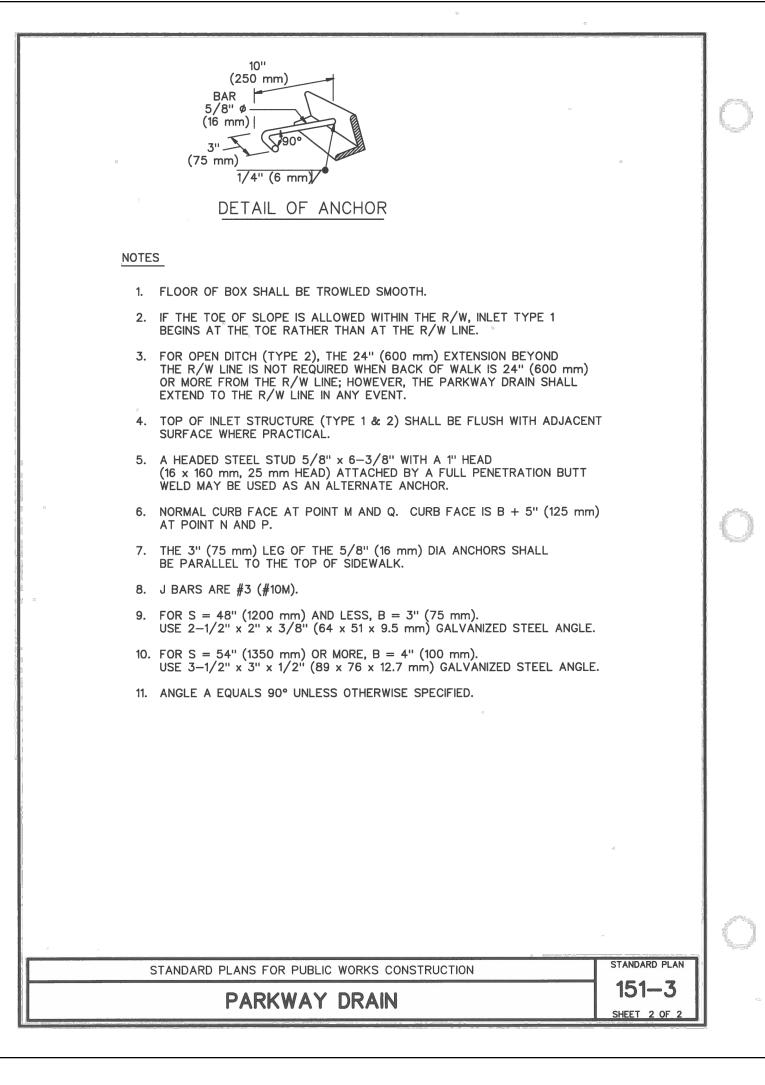
WALL NOTES AND DETAILS

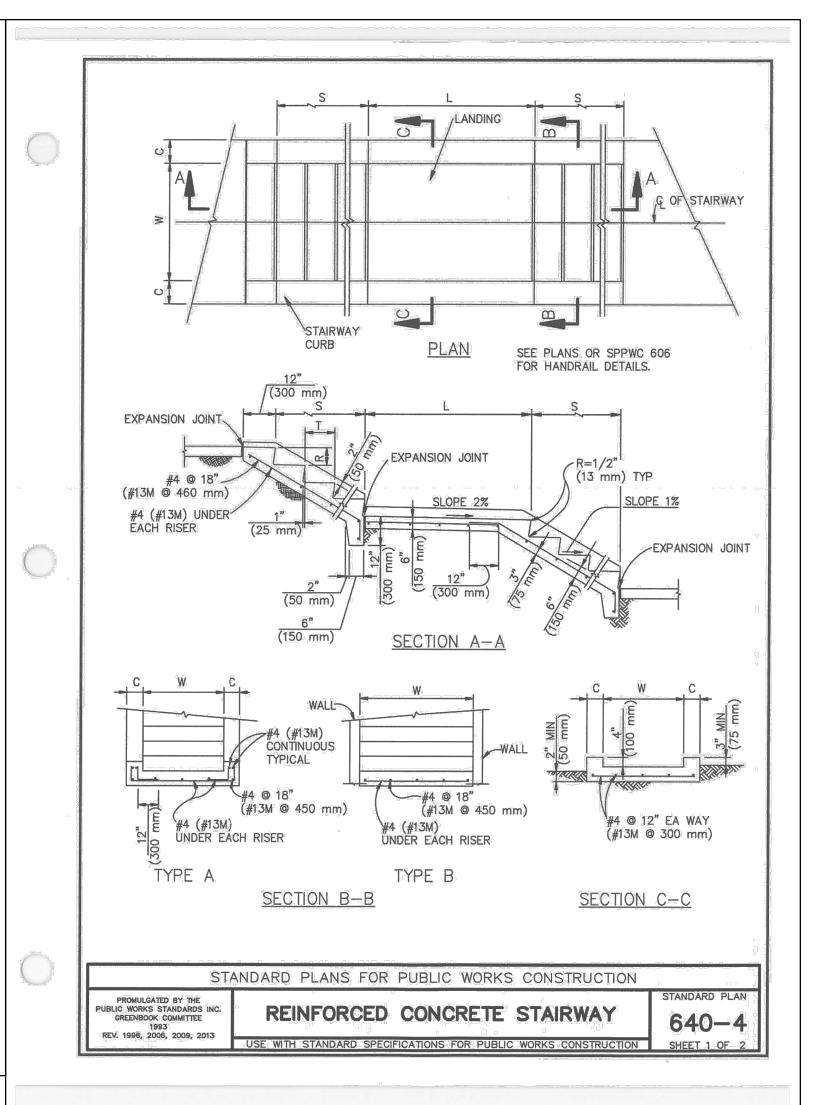
IF THIS SHEET IS NOT 34" X 22", IT IS NOT FULL SIZE, SCALE DRAWINGS ACCORDINGLY

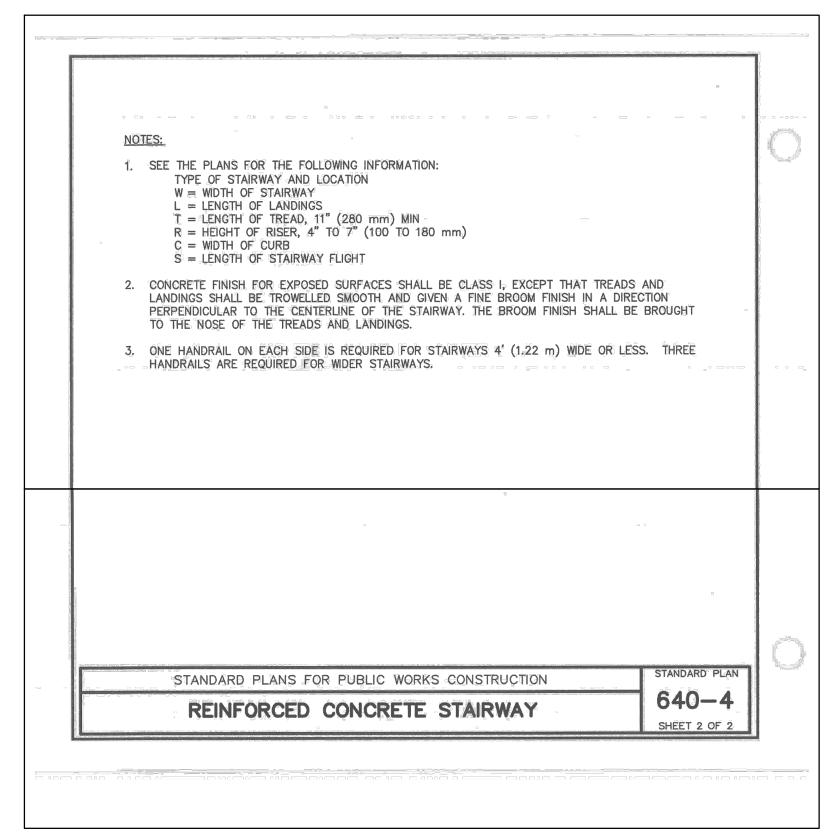
C-4.00

JOB NO: 020-MPC-033

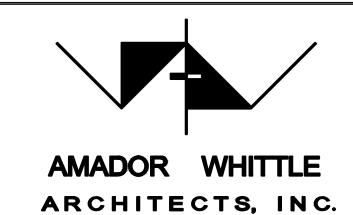














MOORPARK COLLEGE SOFTBALL FIELD NEW BACKSTOP AND FENCING

7075 CAMPUS ROAD MOORPARK, CALIFORNIA 93021

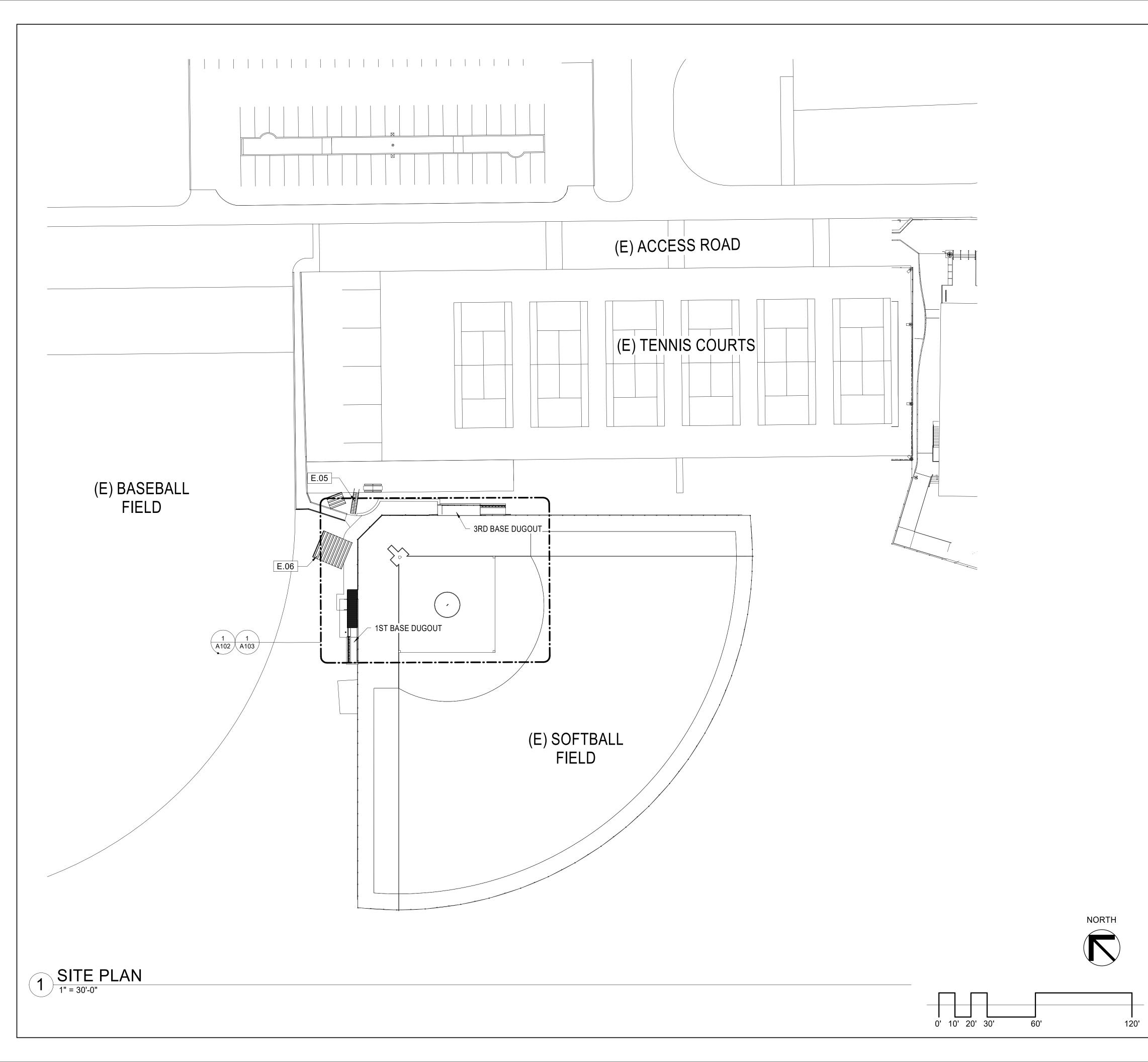
NOTE: THIS SHEET IS ONE OF A SET OF DOCUMENTS WHICH INCLUDES, BUT IS NOT LIMITED TO, DRAWINGS AND SPECIFICATIONS ADDRESSING ALL TRADES. <u>GENERAL CONTRACTOR</u> IS RESPONSIBLE FOR FURNISHING ALL BIDDERS WITH A FULL SET OF CONSTRUCTION DOCUMENTS. ALL BIDDERS SHALL REVIEW THE ENTIRE SET OF DOCUMENTS. IF THERE IS A CONFLICT BETWEEN DISCIPLINES, THE MOST EXPENSIVE OPTION SHALL BE BID.

| REVISIONS | DATE: 05/27/21 |
|-----------|---------------------|
| | DRAWN: TJM |
| | CHECK: GHP |
| | JOB NO: 020-MPC-033 |

STANDARD DETAILS

IF THIS SHEET IS NOT 34" X 22", IT IS NOT FULL SIZE, SCALE DRAWINGS ACCORDINGLY

C-5.00



GENERAL NOTES

1. ALL ITEM SHOWN ARE NEW UNLESS NOTED AS EXISTING.

KEYNOTE LEGEND

E.05 (E) CONCRETE STAIRSE.06 (E) METAL BLEACHERS





MOORPARK COLLEGE SOFTBALL FIELD NEW BACKSTOP AND FENCING

7075 CAMPUS ROAD MOORPARK, CALIFORNIA 93021

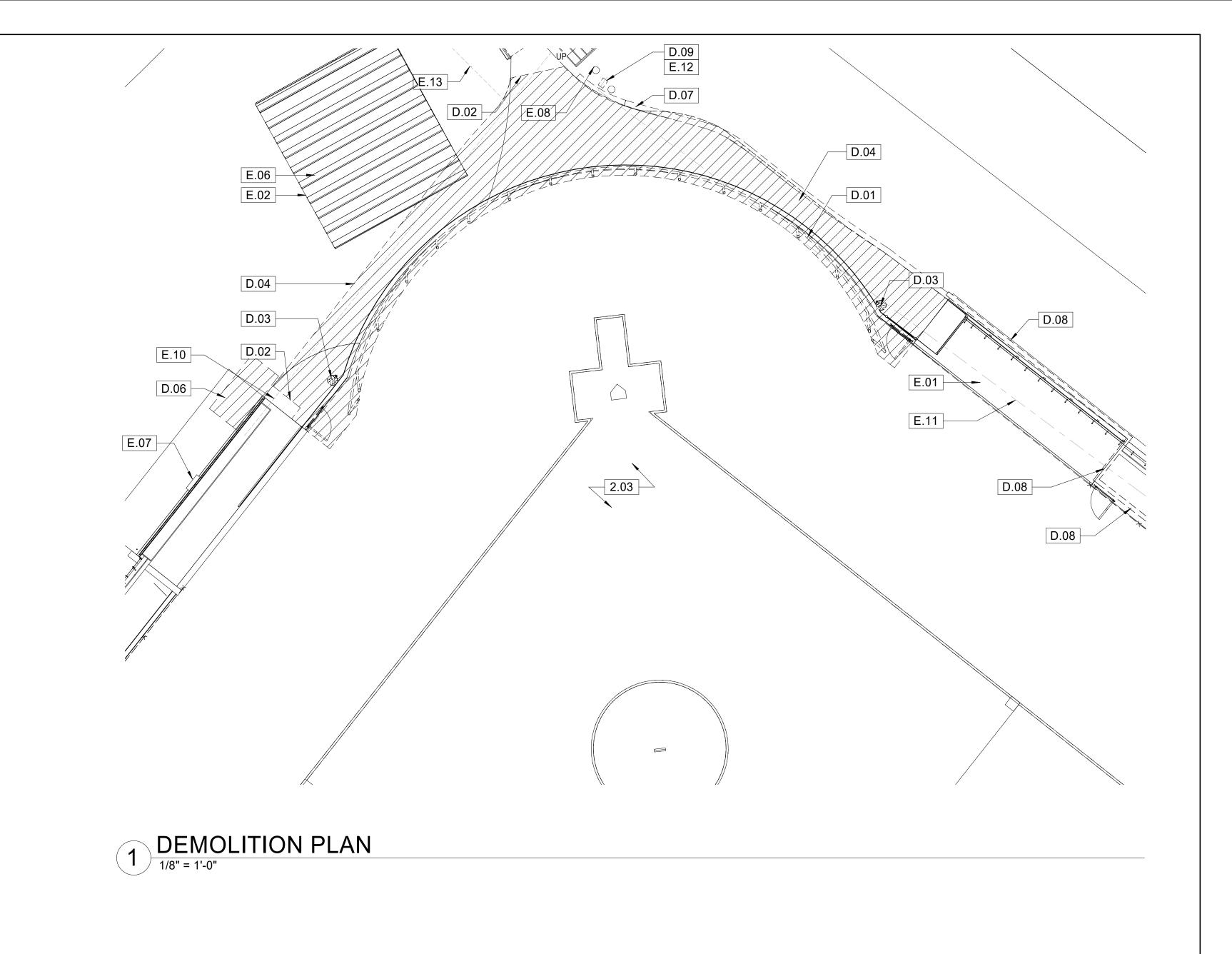
NOTE: THIS SHEET IS ONE OF A SET OF DOCUMENTS WHICH INCLUDES, BUT IS NOT LIMITED TO, DRAWINGS AND SPECIFICATIONS ADDRESSING ALL TRADES. <u>GENERAL CONTRACTOR</u> IS RESPONSIBLE FOR FURNISHING ALL BIDDERS WITH A FULL SET OF CONSTRUCTION DOCUMENTS. ALL BIDDERS SHALL REVIEW THE ENTIRE SET OF DOCUMENTS. IF THERE IS A CONFLICT BETWEEN DISCIPLINES, THE MOST EXPENSIVE OPTION SHALL BE BID.

| | A 4 O 4 |
|-----------|---------------------|
| | JOB NO: 020-MPC-033 |
| | CHECK: WJA |
| | DRAWN: SAN |
| REVISIONS | DATE: 6/17/21 |

SITE PLAN

IF THIS SHEET IS NOT 34" X 22", IT IS NOT FULL SIZE, SCALE DRAWINGS ACCORDINGLY

A101



NORTH

DEMOLITION KEYNOTE LEGEND

- D.01 DEMOLISH (E) BACKSTOP, GATES AND CURB
- D.02 SAWCUT (E) CONCRETE
- D.03 DEMOLISH (E) DRINKING FOUNTAIN
- D.04 DEMOLISH (E) CONCRETE
- D.06 CLEAR AND GRUB TURF ADJUST SPRINKLER PATTERN
- D.07 DEMOLISH (E) WOODEN CURB D.08 DEMOLISH (E) CONCRETE WALL AND FENCE
- D.09 REMOVE AND RELOCATE (2) (E) VALVES & QUICK COUPLER
- E.01 (E) DUGOUT TO REMAIN
- E.02 (E) CONCRETE PAD TO REMAIN
- E.06 (E) METAL BLEACHERS E.07 (E) ELECTRICAL BOX
- E.08 (E) POC VALVE
- E.10 (E) POC AT WARNING & BURIED BOX WIRES
- E.11 (E) 4" ACP
- E.12 (E) 2 1/2" PIPE BELOW
- E.13 (E) 3/4" PVC POTABLE





28328 AGOURA ROAD, SUITE 203 AGOURA HILLS, CA 91301 (805) 530-3938 , (818) 874-0071

MOORPARK COLLEGE SOFTBALL FIELD NEW BACKSTOP AND FENCING

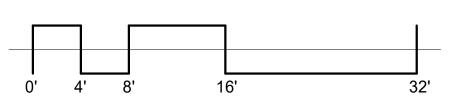
7075 CAMPUS ROAD MOORPARK, CALIFORNIA 93021

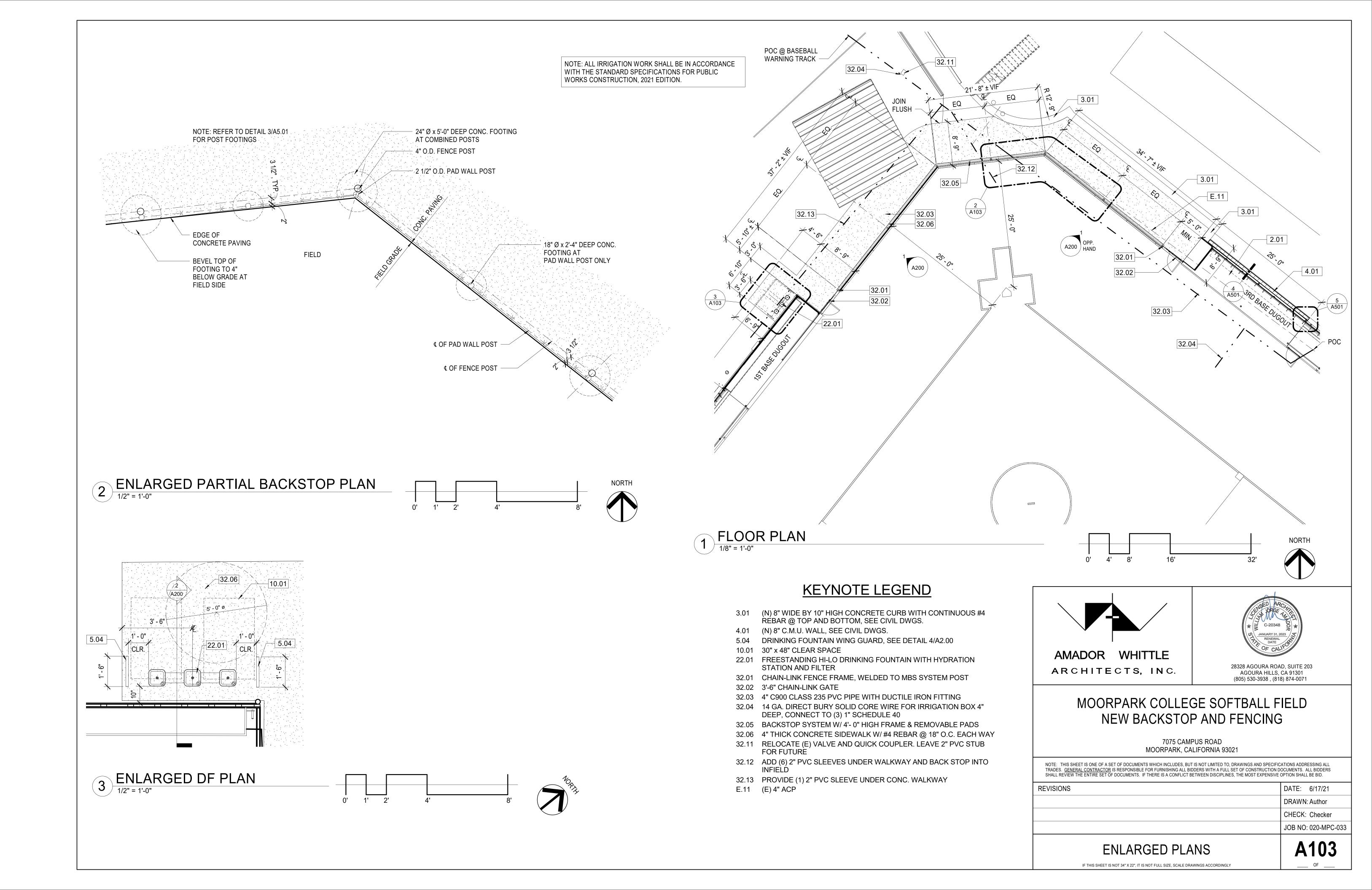
NOTE: THIS SHEET IS ONE OF A SET OF DOCUMENTS WHICH INCLUDES, BUT IS NOT LIMITED TO, DRAWINGS AND SPECIFICATIONS ADDRESSING ALL TRADES. <u>GENERAL CONTRACTOR</u> IS RESPONSIBLE FOR FURNISHING ALL BIDDERS WITH A FULL SET OF CONSTRUCTION DOCUMENTS. ALL BIDDERS SHALL REVIEW THE ENTIRE SET OF DOCUMENTS. IF THERE IS A CONFLICT BETWEEN DISCIPLINES, THE MOST EXPENSIVE OPTION SHALL BE BID.

| REVISIONS | DATE: 6/17/21 |
|-----------|---------------------|
| | DRAWN: SAN |
| | CHECK: WJA |
| | JOB NO: 020-MPC-033 |

DEMOLITION PLAN

IF THIS SHEET IS NOT 34" X 22", IT IS NOT FULL SIZE, SCALE DRAWINGS ACCORDINGLY





WELDED FENCE POSTS & RAILS - 2.875" O.D., TYP. WELDED GATE FRAME - 1.9" O.D., TYP. WELD TO 4" O.D. NETTING POST CHAINLINK FENCING GALVANIZED ANGLE STRIKE PLATE WELDED TO POST FINISH GRADE 16 GA. GALVANIZED STEEL PLATE WELDED TO FRAME HARDWARE LIST:

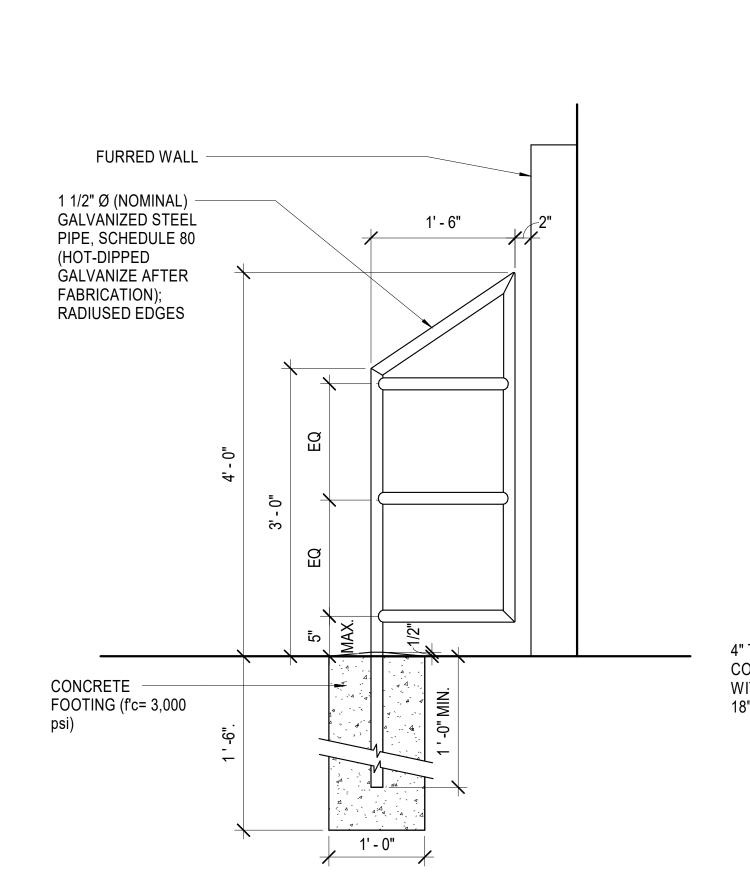
HINGES - STAINLESS STEEL BALL BEARING HINGES,

LEVER HARDWARE - MARKS LA118JC OR SCHLAGE

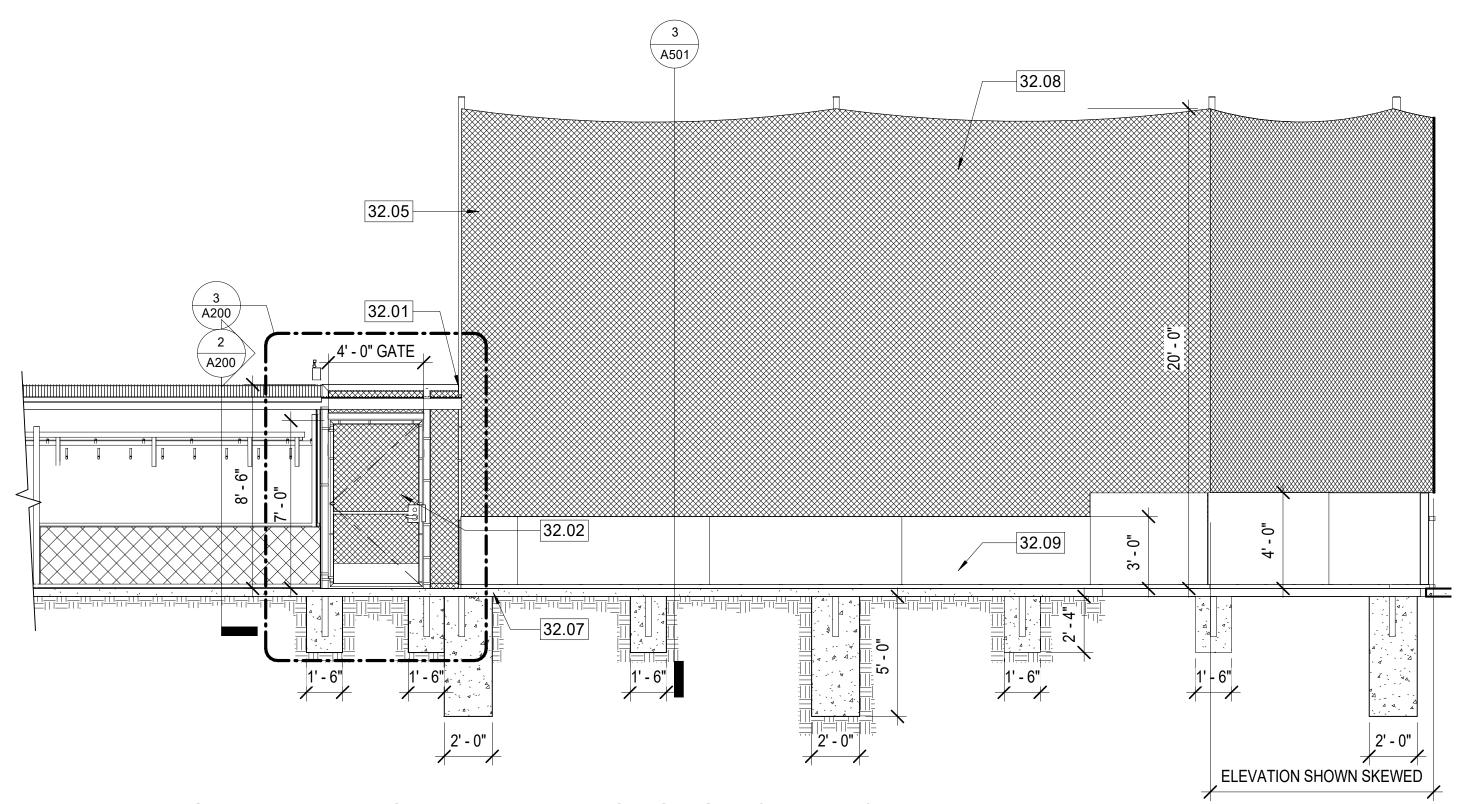
2. WELDABLE LOCK BOX - KEEDEX K-BX190R2BY

MODEL BB7, FROM RAMCAST, WWW.RAMCASTSTEEL.NET

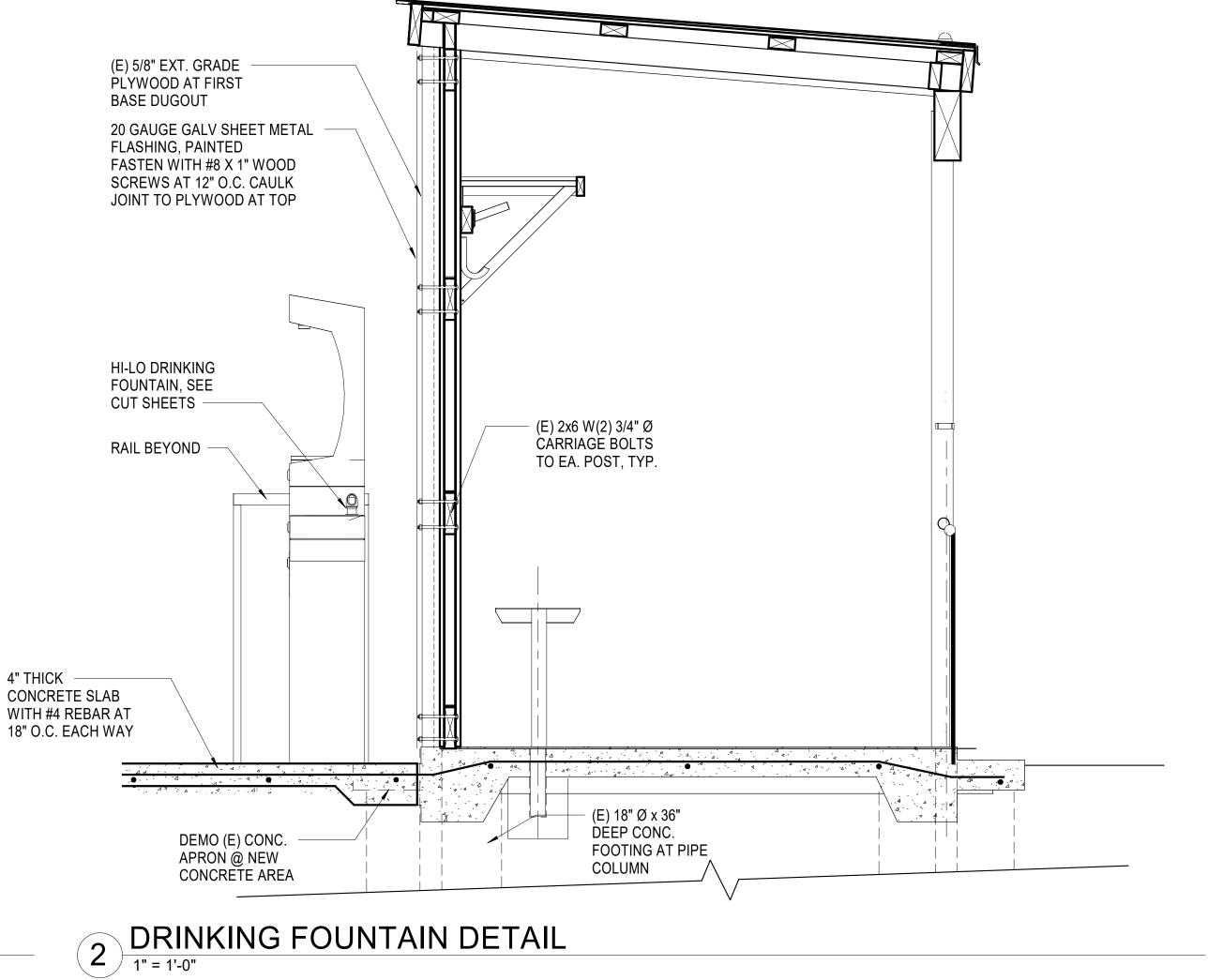
L-9066-06N-XL11-897 KEY IN CYLINDER LOCKS OR UNLOCKS BOTH LEVERS ACCESSIBLE PEDESTRIAN GATE 1/2" = 1'-0"



WING GUARD DETAIL 1" = 1'-0"

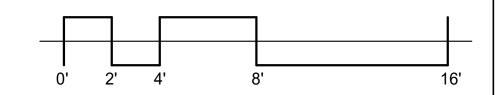


1 ELEVATION AT NEW GATE AND BACKSTOP (TYP. 2)



KEYNOTE LEGEND

- 32.01 CHAIN-LINK FENCE FRAME, WELDED TO MBS SYSTEM POST
- 32.02 3'-6" CHAIN-LINK GATE
- 32.05 BACKSTOP SYSTEM W/ 4'- 0" HIGH FRAME & REMOVABLE PADS
- 32.07 CONCRETE
- 32.08 NYLON NETTING
- 32.09 VINYL ENCASED FOAM PADDING







28328 AGOURA ROAD, SUITE 203 AGOURA HILLS, CA 91301 (805) 530-3938 , (818) 874-0071

MOORPARK COLLEGE SOFTBALL FIELD NEW BACKSTOP AND FENCING

7075 CAMPUS ROAD MOORPARK, CALIFORNIA 93021

NOTE: THIS SHEET IS ONE OF A SET OF DOCUMENTS WHICH INCLUDES, BUT IS NOT LIMITED TO, DRAWINGS AND SPECIFICATIONS ADDRESSING ALL TRADES. <u>GENERAL CONTRACTOR</u> IS RESPONSIBLE FOR FURNISHING ALL BIDDERS WITH A FULL SET OF CONSTRUCTION DOCUMENTS. ALL BIDDERS SHALL REVIEW THE ENTIRE SET OF DOCUMENTS. IF THERE IS A CONFLICT BETWEEN DISCIPLINES, THE MOST EXPENSIVE OPTION SHALL BE BID.

REVISIONS

DATE: 6/17/21

DRAWN: SAN

CHECK: WJA

JOB NO: 020-MPC-033

ELEVATIONS & DETAILS

IF THIS SHEET IS NOT 34" X 22", IT IS NOT FULL SIZE, SCALE DRAWINGS ACCORDINGLY

A200

