

GENERAL NOTES

1. INTERPRETATION OF CONSTRUCTION DOCUMENTS
 - A. ALL INFORMATION DEPICTED IN THESE DRAWINGS AND RELATIVE TO EXISTING CONDITIONS IS BASED ON THE BEST AVAILABLE DATA AT THE TIME THESE CONSTRUCTION DOCUMENTS WERE BEING EXECUTED, BUT WITHOUT GUARANTEE OF ACCURACY. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE AND SHALL REPORT ANY DISCREPANCIES TO ARCHITECT PRIOR TO COMMENCING ANY WORK.
 - B. THE CONTRACTOR IS RESPONSIBLE FOR ALL COSTS INCURRED RESULTING FROM THE REMOVAL OR REPLACEMENT OF WORK INSTALLED WITHOUT PROPER COORDINATION TO ALL OTHER TRADES, AND/OR PRIOR TO OBTAINING CLARIFICATION FROM THE ARCHITECT WHERE CONFLICTING INFORMATION EXISTS ON THE DRAWINGS.
 - C. THE CONTRACTOR SHALL FURNISH ALL BIDDERS WITH A COMPLETE SET OF CONSTRUCTION DOCUMENTS, INCLUDING BUT NOT LIMITED TO DRAWINGS, SPECIFICATIONS AND ADDENDUMS.
 - D. ALL BIDS AND LINE ITEM COSTS SUBMITTED BY THE CONTRACTOR IN CONJUNCTION WITH HIS SUBCONTRACTORS ARE CONSIDERED TO INCLUDE COMPLETE COORDINATION BETWEEN THE VARIOUS DISCIPLINES AS WELL AS ALL OTHER REQUIREMENTS OF THESE CONSTRUCTION DOCUMENTS, INCLUDING BUT NOT LIMITED TO CODE AND PUBLIC UTILITY REQUIREMENTS. FURTHER, WHERE THERE ARE CONFLICTING SOLUTIONS IN THE CONSTRUCTION DOCUMENTS AND BID OR LINE ITEM COST IS SUBMITTED BY THE CONTRACTOR WITHOUT ANY FORMAL WRITTEN REQUEST FOR CLARIFICATION PRIOR TO BID OPENING, ALL SUCH ITEMS WILL BE CONSIDERED TO INCLUDE THE MOST EXPENSIVE OF THE POSSIBLE SOLUTIONS DEPICTED IN THE CONSTRUCTION DOCUMENTS.
 - E. MODIFICATIONS OF DETAILS OF CONSTRUCTION SHALL NOT BE MADE WITHOUT WRITTEN APPROVAL OF THE ARCHITECT.
2. CONTRACTOR SHALL VISIT THE SITE TO INVESTIGATE AND VERIFY ALL DIMENSIONS AND EXISTING SITE CONDITIONS AT JOB SITE PRIOR TO START OF WORK.
3. ALL DIMENSIONS INDICATED ARE BELIEVED TO BE ACCURATE, BUT ARE NOT GUARANTEED TO BE SO. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT. COORDINATE WITH EXISTING CONDITIONS WHERE INSUFFICIENT DETAIL DIMENSIONS ARE AVAILABLE. ALL DIMENSIONS ARE TO FINISHED FACE OF CONSTRUCTION OR CENTERLINE OF COLUMNS UNLESS NOTED OTHERWISE. DIMENSIONS NOTED AT "CLR" (CLEAR) ARE NOT ADJUSTABLE WITHOUT ARCHITECT'S APPROVAL.
4. DIMENSIONS SHOWN SHALL HAVE PREFERENCE OVER SCALE.
5. ALL ITEMS INCLUDING BUILDINGS SHOWN ARE NEW UNLESS NOTED EXISTING (E).
6. CONTRACTOR SHALL TAKE ALL PRECAUTIONARY MEASURES TO PROTECT EXISTING PIPELINES AND UTILITIES THAT ARE TO REMAIN IN SERVICE. CONTRACTOR SHALL VERIFY THAT THOSE PIPELINES AND UTILITIES TO BE REMOVED HAVE BEEN DISCONNECTED, SHUT DOWN OR ABANDONED PRIOR TO ATTEMPTING REMOVAL OR DEMOLITION IN A MANNER TO AVOID ANY DISRUPTION OF EXISTING FACILITIES.
7. CONTRACTOR SHALL PROTECT ALL SURFACES & FIXTURES TO REMAIN DURING DEMOLITION AND CONSTRUCTION.
8. ALL DAMAGE DONE TO EXISTING CONSTRUCTION AS A RESULT OF DEMOLITION OR INSTALLATION SHALL BE COMPLETELY REPAIRED BY CONTRACTOR AT OR NO COST TO OWNER. REPAIRED WORK SHALL MATCH EXISTING CONSTRUCTION.
9. CONTRACTOR SHALL REPAIR AND PATCH UP ALL DAMAGES TO EXISTING SURFACES CAUSED BY REMOVAL OF EXISTING EQUIPMENT ATTACHED TO EXISTING SURFACES.
10. WHERE PATCHES ARE REQUIRED IN EXISTING, SURFACES ADJACENT MATERIAL SHALL BE MATCHED IN TEXTURE AND FINISH.
11. "DEMOLISH" AND "REMOVE" SHALL MEAN TO DEMOLISH, REMOVE FROM THE SITE AND DISPOSE OF IN A LEGAL MANNER UNLESS NOTED OTHERWISE. TERMINATE PIPING BELOW SUBSTRATE FOR PATCHING. ELECTRICAL WIRE DISCONNECT SHALL BE AT THE SOURCE OF POWER.
12. SALVAGED PRODUCTS SAVED FOR OWNER AS A RESULT OF DEMOLITION ACTIVITY AND/OR PRODUCTS STORED FOR USE IN CONSTRUCTION SHALL BE STORED IN A MANNER SUCH THAT NO MATERIALS ARE DAMAGED AND PUBLIC SAFETY IS MAINTAINED.
13. CONTRACTOR SHALL THOROUGHLY CLEAN AND SECURE THE AREA OF CONSTRUCTION AFTER EACH DAY OF WORK. CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL CONSTRUCTION DEBRIS OFF SITE.
14. LOCATIONS OF STRUCTURES, UNDERGROUND PIPELINES AND UTILITIES WERE OBTAINED FROM AVAILABLE RECORDS. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS AND ELEVATIONS OF ALL PIPELINES AND UTILITIES BEFORE COMMENCING DEMOLITION, EARTHWORK OR CONSTRUCTION WORK.
15. GENERAL CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS PRIOR TO START OF CONSTRUCTION. ALL QUESTIONS SHALL BE SENT TO ARCHITECT.
16. ALL SALVAGEABLE MATERIALS AND EQUIPMENT TO BE REMOVED SHALL REMAIN THE SOLE PROPERTY OF THE OWNER. THE CONTRACTOR SHALL CONSULT WITH THE OWNER CONCERNING STORAGE AND/OR DISPOSAL OF SUCH EQUIPMENT. OWNER HAS FULL SALVAGE RIGHTS. ALL REMOVED MATERIALS OTHER THAN ITEMS TO BE SALVAGED, OR REUSED SHALL BECOME CONTRACTOR'S PROPERTY AND SHALL BE REMOVED FROM THE PROJECT SITE.
17. ALL WORK, INCLUDING REMOVAL OF EXISTING WORK, SHALL BE PERFORMED IN A MANNER THAT MINIMIZES THE AMOUNT OF NOISE, DUST, TRAFFIC AND/OR OTHER FORMS OF DISTURBANCES IN COMPLIANCE WITH ALL APPLICABLE CODES AND ORDINANCES SO THAT THE PUBLIC, STUDENTS AND STAFF, AS WELL AS OTHER OCCUPIED AREAS OF THE SCHOOL ARE SUBJECTED TO AS LITTLE DISRUPTION AS REASONABLY POSSIBLE.
18. ROUTES OF INGRESS AND EGRESS FOR MATERIALS AND WORKMEN, AND LIMITS OF THE PROJECT AREA WILL BE DESIGNATED BY THE OWNER. THE CONTRACTOR SHALL CONFINE HIS ACTIVITIES WITHIN SUCH LIMITS. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ADEQUATE SAFETY AND DUST BARRIERS IN THE SITE, ACROSS CORRIDORS AND ELSEWHERE AS REQUIRED.
19. SHUT DOWN OF EXISTING AND OPERATING PLUMBING, MECHANICAL AND ELECTRICAL SYSTEMS OR PORTIONS THEREOF SHALL BE COORDINATED IN ADVANCE WITH THE OWNER.
20. CONTRACTOR SHALL COORDINATE ALL WORK SHOWN ON THE ARCHITECTURAL DRAWINGS WITH THE SPECIFICATIONS AND THE WORK SHOWN ON THE MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS. ANY DISCREPANCIES FOUND SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IN WRITING BEFORE PROCEEDING WITH ANY RELATED WORK.
21. NOT USED.

MOORPARK COLLEGE SOFTBALL FIELD NEW BACKSTOP AND FENCING

7075 CAMPUS ROAD
MOORPARK, CALIFORNIA 93021

VENTURA COUNTY COMMUNITY COLLEGE

BID 622
JUNE 2021

GENERAL NOTES

22. GENERAL CONTRACTOR SHALL PROVIDE TEMPORARY EIGHT (8) FEET HIGH CHAIN LINK FENCE BARRICADES AT WORK AREAS, DISTRICT APPROVED STORAGE AREAS AND WHEREVER NECESSARY TO MAINTAIN A SAFE PASSAGE AND SAFE ENVIRONMENT.
23. BEFORE PROCEEDING WITH THE CORING OR CUTTING OF WALLS AND FLOORS, ETC., THE CONTRACTOR SHALL PREPARE LAYOUT OF CUTTING OR CORING AND SHALL HAVE THE APPROVAL BY THE ARCHITECT IN ORDER TO PROCEED WITH THE CUTTING OR CORING.
24. SAW-CUT EXISTING A.C. PAVING AND/OR CONCRETE FLOOR SLAB AS REQUIRED FOR NEW PIPE INSTALLATION AND NEW DEPRESSED CONCRETE SLAB, AND REPAIR TO MATCH EXISTING.
25. STRENGTH OF CONCRETE:
 - A) SLABS ON EARTH, SIDEWALKS AND CURBS: 3,000 PSI AT 28 DAYS
 - B) FOUNDATIONS: 3,000 PSI AT 28 DAYS
26. THE CONTRACTOR SHALL NOT COMMENCE THE WORK, IN PART OR IN FULL, PRIOR TO OBTAINING THE NOTICE-TO-PROCEED (NTP) FROM VCCCD.
27. IN CASE OF CONFLICT, THE MORE EXPENSIVE CONSTRUCTION MEANS AND METHOD SHALL BE USED.
28. THE PROVISIONS OF CFC CHAPTER 14 AND CBC CHAPTER 33 SHALL BE ENFORCED ON THIS PROJECT.
29. ALL ASTM SPECIFICATIONS NOTED ON THESE DRAWINGS SHALL BE OF THE LATEST EDITION.

CONCRETE NOTES:

1. CONCRETE MIXES SHALL BE DESIGNED BY A RECOGNIZED TESTING LABORATORY AND CONCRETE MIX THE DESIGN SHALL BE SENT TO THE ARCHITECT AND THE ENGINEER FOR APPROVAL.
2. PORTLAND CEMENT SHALL CONFORM TO ASTM C-150, TYPE II, AGGREGATE FOR STONE. CONCRETE SHALL CONFORM TO ASTM C-33.
3. THE MAXIMUM SLUMP SHALL NOT EXCEED 4" +/- 1" FOR FOOTINGS, SLABS ON EARTH, AND MASS CONCRETE, AND 5" +/- 1" FOR OTHER CONCRETE. SLURRY SLUMP RATIO NOT EXCEED 4" +/- 1".
4. MINIMUM ULTIMATE COMPRESSIVE STRENGTH AT 28 DAYS SHALL BE AS FOLLOWS: (MINIMUM 5 SACKS OF CEMENT PER CUBIC YARD) (MAXIMUM WATER/CEMENT RATIO TO BE 7.5 GAL. WATER/SACK OF CEMENT).
 - A. SLABS ON EARTH, SIDEWALK, FOOTINGS, CURBS ETC.....3000 P.S.I.
5. CONTRACTOR SHALL SUBMIT SLAB CONSTRUCTION JOINT LAYOUT DRAWINGS TO THE ARCHITECT AND ENGINEER FOR REVIEW.
6. THERE SHALL BE NO FLY ASH IN THE CONCRETE MIX FOR SLABS.

REINFORCING STEEL NOTES:

1. ALL REINFORCING STEEL SHALL CONFORM TO THE REQUIREMENTS OF ASTM A-706 GRADE 60 FOR NO. 5 AND LARGER, ASTM A-706 GRADE 40 FOR NO. 4 AND SMALLER.
2. CLEAR COVERAGE OF CONCRETE OVER OUTER REINFORCING BARS SHALL BE AS FOLLOWS:
 - A. CONCRETE POURED DIRECTLY AGAINST EARTH, 3" CLEAR.
 - B. STRUCTURAL SLAB, 3/4" CLEAR TOP AND BOTTOM UNLESS NOTED OTHERWISE.
 - C. CONCRETE FORMED AGAINST EARTH OR EXPOSED TO WEATHER, 1-1/2" CLEAR (2" CLEAR FOR 6 BARS AND LARGER)
 - D. INTERIOR BEAMS AND COLUMNS, 1-1/2" CLEAR TO FACE OF STIRRUP.
 - E. FORMED CONCRETE NOT INCLUDED ABOVE, 3/4" CLEAR.

SUMMARY OF SCOPE OF WORK

SCOPE AS SHOWN ON DRAWINGS INCLUDING, BUT NOT LIMITED TO:

1. DEMOLISH (E) BACKSTOP AND PROVIDE (N) 20' HIGH BACKSTOP SYSTEM WITH STRAIGHT POLES AND ACCESSIBLE WIDTH GATES AT (E) SOFTBALL FIELD.
2. PROVIDE 4' HIGH PADDED BACKSTOP WALL.
3. PROVIDE (2) NEW DRINKING FOUNTAINS.
4. CONCRETE PAVING, WALLS AND STEPS.
5. CMU RETAINING WALL.
6. MODIFY IRRIGATION LINES AND CONTROL WIRING.

DESIGN TEAM

ARCHITECT AMADOR WHITTLE ARCHITECTS 28328 AGOURA ROAD, SUITE 203 AGOURA HILLS, CA 91301 (805) 530-3938	CIVIL ENCOMPASS CONSULTANT GROUP 333 N. LANTANA ST, SUITE 287, CAMARILLO, CALIFORNIA 93010 (805) 322-4443
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DSA EXEMPT

1. THIS PROJECT IS EXEMPT FROM DSA REVIEW, APPROVAL AND CERTIFICATION IN ACCORDANCE WITH DSA IR A-22, PARAGRAPH 1.3.1.
2. ALL WORK SHALL COMPLY WITH APPLICABLE CODES AS LISTED.

APPLICABLE CODES

LIST OF 2019 CALIFORNIA CODE OF REGULATIONS (C.C.R.):
APPLICABLE CODE AS OF JANUARY 1, 2020

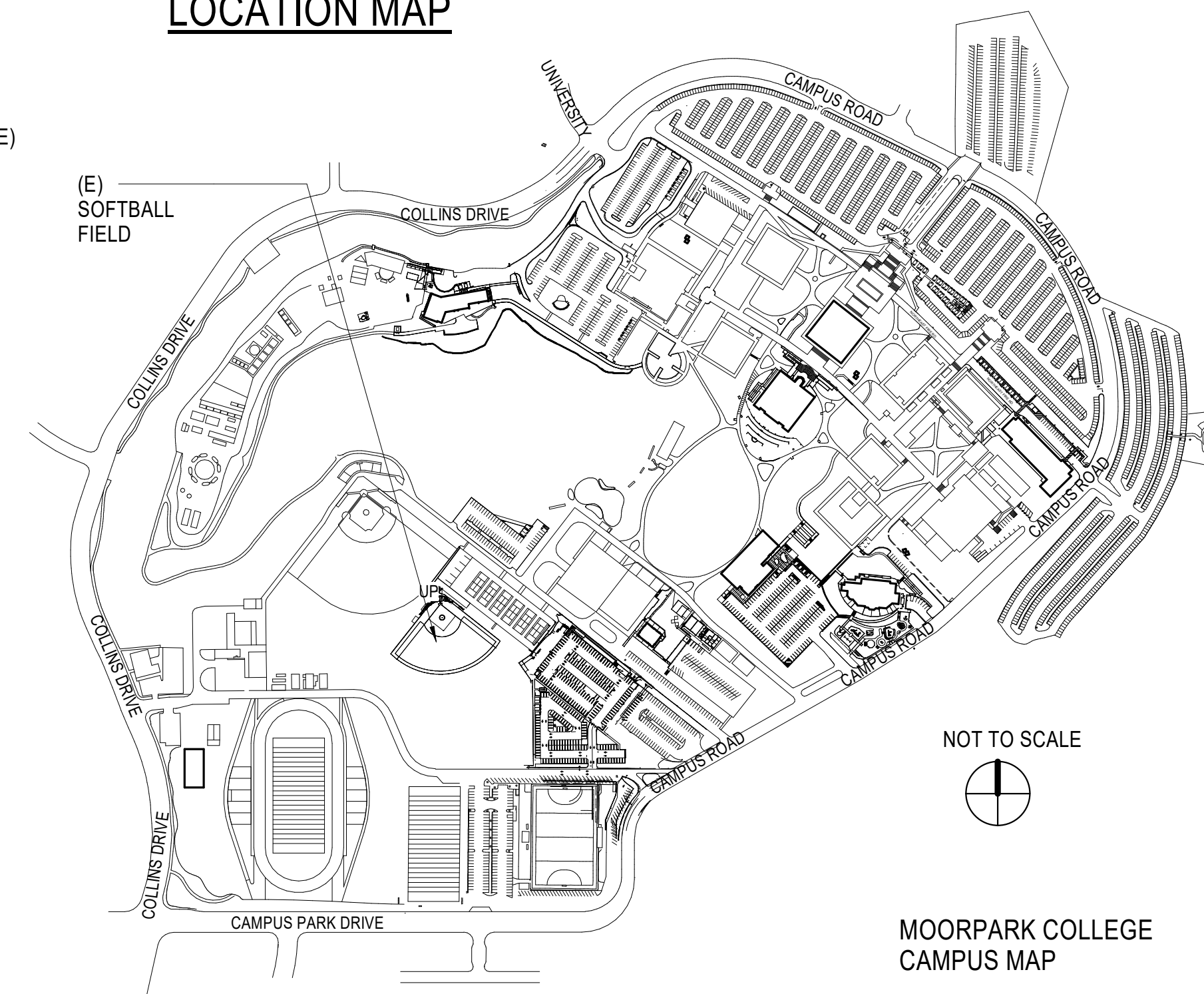
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|----------|--|
| PART 1- | 2019 CALIFORNIA BUILDING STANDARD ADMINISTRATIVE CODE, TITLE 24 C.C.R. |
| PART 2- | 2019 CALIFORNIA BUILDING CODE, TITLE 24 C.C.R. (2018 INTERNATIONAL BUILDING CODE OF THE INTERNATIONAL CODE COUNCIL, WITH CALIFORNIA AMENDMENTS) |
| PART 5- | 2019 CALIFORNIA PLUMBING CODE, TITLE 24 C.C.R. (2018 UNIFORM PLUMBING CODE OF THE INTERNATIONAL ASSOCIATION OF PLUMBING AND MECHANICAL OFFICIALS, IAPMO) |
| PART 12- | 2019 CALIFORNIA REFERENCE STANDARDS CODE, TITLE 24 C.C.R. |

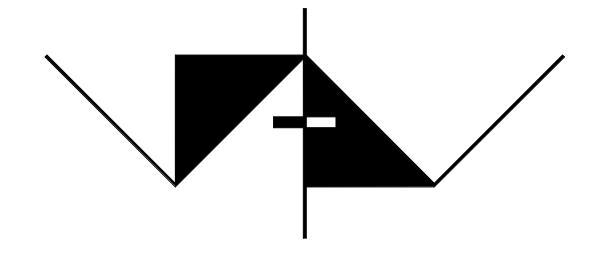

DEPARTMENT OF JUSTICE REGULATIONS FOR TITLE II OF THE AMERICANS WITH DISABILITIES ACT OF 1990 WITH REVISED REGULATIONS AS PUBLISHED IN THE FEDERAL REGISTER ON SEPTEMBER 15, 2010, EFFECTIVE MARCH 15, 2012. TITLED ADA STANDARDS FOR ACCESSIBLE DESIGN.

DRAWING LIST

SHT NO.	DRAWING TITLE
GENERAL	
G000	TITLE SHEET
CIVIL	
C-1.00	CIVIL COVER
C-2.00	CIVIL IMPROVEMENTS
C-3.00	CIVIL SECTIONS AND DETAILS
C-4.00	WALL NOTES AND DETAILS
C-5.00	STANDARD DETAILS
ARCHITECTURAL	
A101	SITE PLAN
A102	DEMOLITION PLAN
A103	ENLARGED PLANS
A200	ELEVATIONS & DETAILS
A501	DETAILS

LOCATION MAP

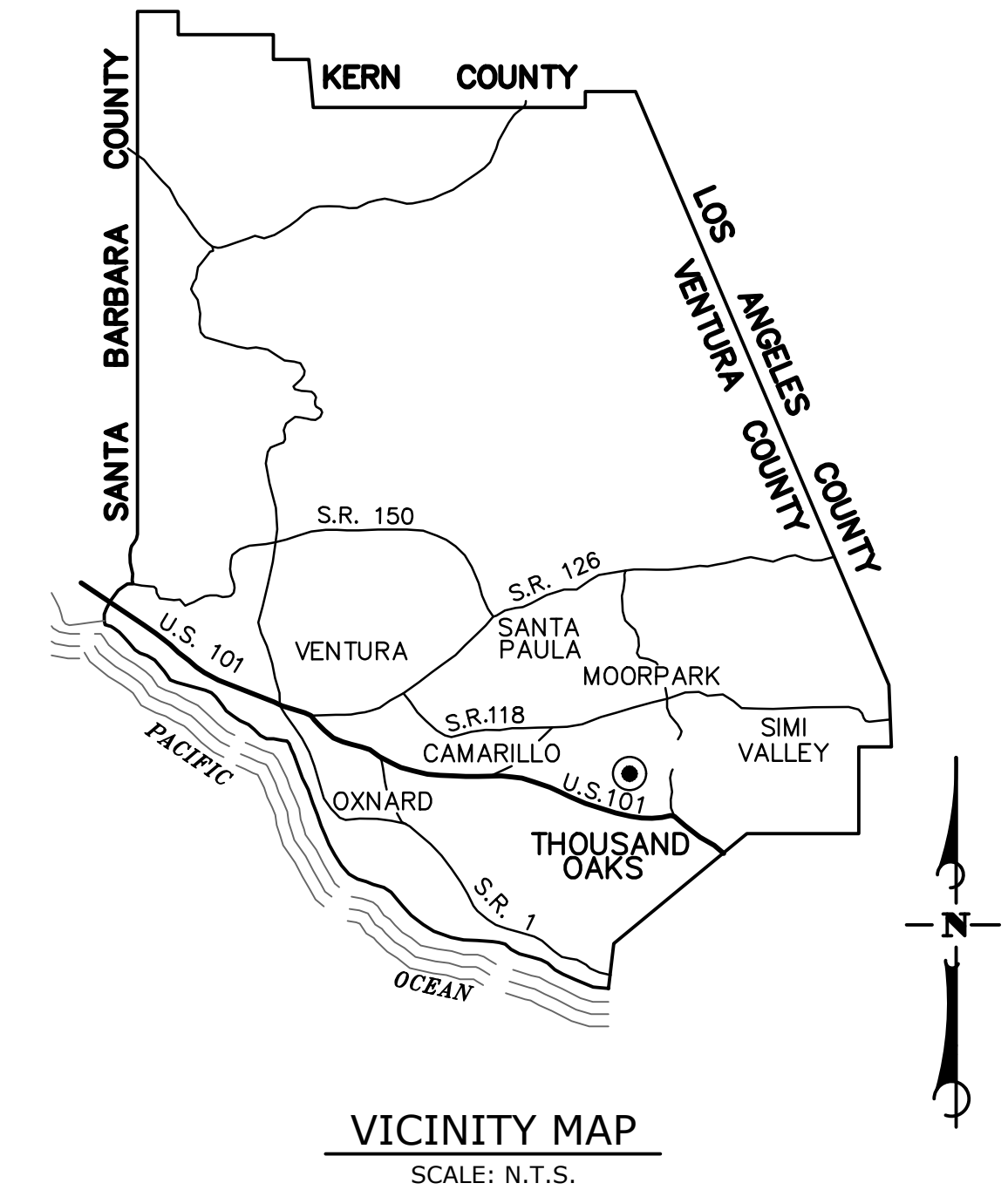
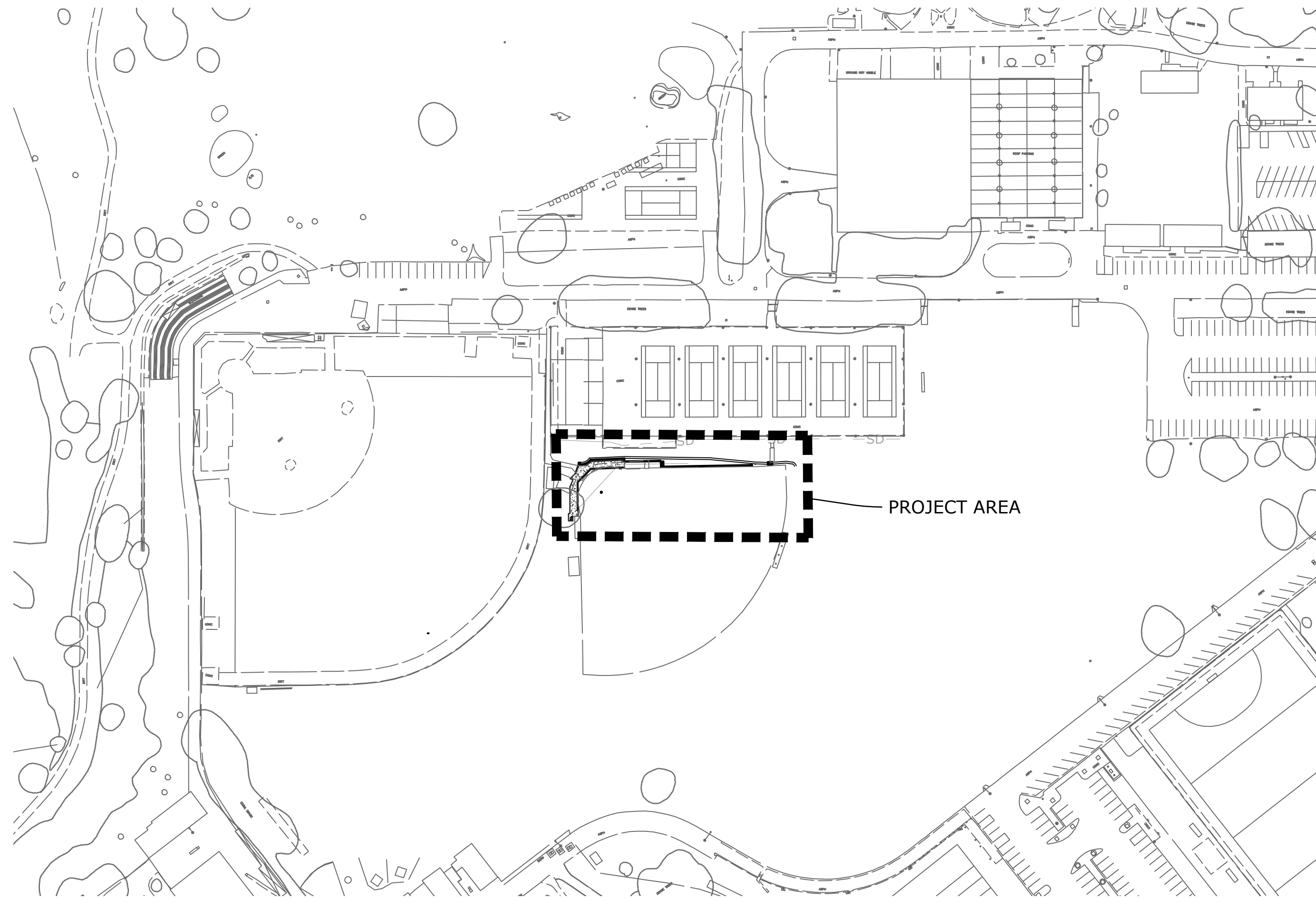


 AMADOR WHITTLE ARCHITECTS, INC.	 <small>28328 AGOURA ROAD, SUITE 203 AGOURA HILLS, CA 91301 (805) 530-3938, (818) 874-0071</small>
MOORPARK COLLEGE SOFTBALL FIELD NEW BACKSTOP AND FENCING 7075 CAMPUS ROAD MOORPARK, CALIFORNIA 93021	
<small>NOTE: THIS SHEET IS ONE OF A SET OF DOCUMENTS WHICH INCLUDES, BUT IS NOT LIMITED TO, DRAWINGS AND SPECIFICATIONS ADDRESSING ALL TRADES. GENERAL CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL BIDDERS WITH A FULL SET OF CONSTRUCTION DOCUMENTS. ALL BIDDERS SHALL REVIEW THE ENTIRE SET OF DOCUMENTS. IF THERE IS A CONFLICT BETWEEN DISCIPLINES, THE MOST EXPENSIVE OPTION SHALL BE BID.</small>	
REVISIONS	DATE: 6/17/21
	DRAWN: SAN
	CHECK: WJA
	JOB NO: 020-MPC-033
TITLE SHEET	
G000 OF	

MOORPARK COLLEGE GIRLS SOFTBALL FIELD CIVIL IMPROVEMENT PLANS

GENERAL NOTES

- ALL WORK SHOWN HEREON SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (SSPWC) 2021 EDITION, THE CALIFORNIA BUILDING CODE, 2019 EDITION, THE STATE OF CALIFORNIA (CALTRANS) STANDARD SPECIFICATIONS, 2015 EDITION AND STANDARD PLANS, 2015 EDITION.
- THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT AND SUPPORT THE UTILITIES OR SUBSTRUCTURES FOUND AT THE SITE WHETHER OR NOT EXPOSED BY CONSTRUCTION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNERS OF THE UTILITIES OR STRUCTURES CONCERNED BEFORE STARTING WORK. (72-HOURS NOTICE REQUIRED.) PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT (USA) TOLL FREE AT 811.
- CONTRACTOR SHALL PROTECT ALL EXISTING PROPERTIES FROM DAMAGE.
- CONTRACTOR TO MAKE HIS OWN ARRANGEMENTS FOR EQUIPMENT AND MATERIALS STORAGE AREAS.
- RESTORE ALL EXISTING SURFACE AND SUBSURFACE FACILITIES DISTURBED BY CONSTRUCTION INCLUDING BUT NOT LIMITED TO TREES, FENCING, LANDSCAPING, IRRIGATION, TRAILS, ASPHALT CONCRETE ROAD PAVING, CURB AND GUTTER, CROSS GUTTER, SIDEWALK, AND UTILITIES PER CURRENT CITY STANDARDS, SPECIFICALLY BUT NOT LIMITED TO, THE CITY OF PORT HUENEME ROAD STANDARDS, THE COUNTY OF VENTURA ROAD STANDARDS, AND THE CALTRANS STANDARD SPECIFICATIONS.
- POTHOLE EXISTING UTILITIES PRIOR TO CONSTRUCTION AND ADVISE ENGINEER OF CONFLICTS. CONTACT PURVEYORS OF UTILITY SYSTEMS SUCH AS ELECTRIC, TELEPHONE, CABLE TV, GAS OR OTHERS TO RELOCATE FACILITIES TO ALLOW FOR THE CONSTRUCTION SHOWN ON THESE PLANS. UTILITIES NOT SHOWN IN PROFILES AS DEPTHS ARE NOT KNOWN.
- CONTRACTOR SHALL PROVIDE, IMPLEMENT, AND MAINTAIN A STORMWATER POLLUTION CONTROL PLAN (SWPCP) AND COMPLY WITH APPLICABLE REQUIREMENTS UNDER THE VENTURA COUNTY MUNICIPAL STORMWATER PERMIT, ORDER 2010-0108.



SURVEY NOTES

- BASIS OF BEARINGS AND COORDINATES

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CALIFORNIA COORDINATE SYSTEM NAD83, ZONE 5, EPOCH (2011.0) AS DETERMINED LOCALLY BY A LINE BETWEEN CONTINUOUS GLOBAL POSITIONING STATIONS (CGPS) AND/OR CONTINUOUS OPERATING REFERENCE STATIONS (CORS) MPWD & TOST BEING SOUTH 35°20'10" EAST AS DERIVED FROM GEODETIC VALUES PUBLISHED BY THE CALIFORNIA SPATIAL REFERENCE CENTER (CSRC).

- ELEVATIONS

THE VERTICAL DATUM OF THIS SURVEY IS THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), PER GPS TIES & GEOID MODELING (GEOID12B) TO CGPS STATION TOST. ELLIPSOID HEIGHTS ARE CONSTRAINED PER CSRC. NO COUNTY BENCHMARKS WERE MEASURED IN THIS SURVEY.

CONTROL TABLE

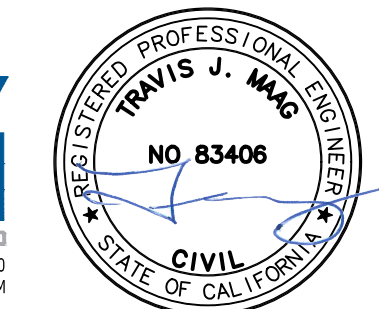
POINT	NORTHING	EASTING	ELEVATION	DESCRIPTION
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2	1932233.09	6308369.95	641.77	SET 60D MAG
3	1932121.32	6308487.32	636.79	SET 60D MAG
6	1932115.92	6308516.98	642.49	SET 60D MAG

SHEET INDEX

C1.00	CIVIL COVER
C2.00	CIVIL IMPROVEMENT PLAN
C3.00	CIVIL SECTIONS AND DETAILS
C4.00	WALL NOTES AND DETAILS
C5.00	STANDARD DETAILS



SCALE: 1"=100'



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AGOURA HILLS, CA 91301
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MOORPARK COLLEGE SOFTBALL FIELD NEW BACKSTOP AND FENCING

7075 CAMPUS ROAD
MOORPARK, CALIFORNIA 93021

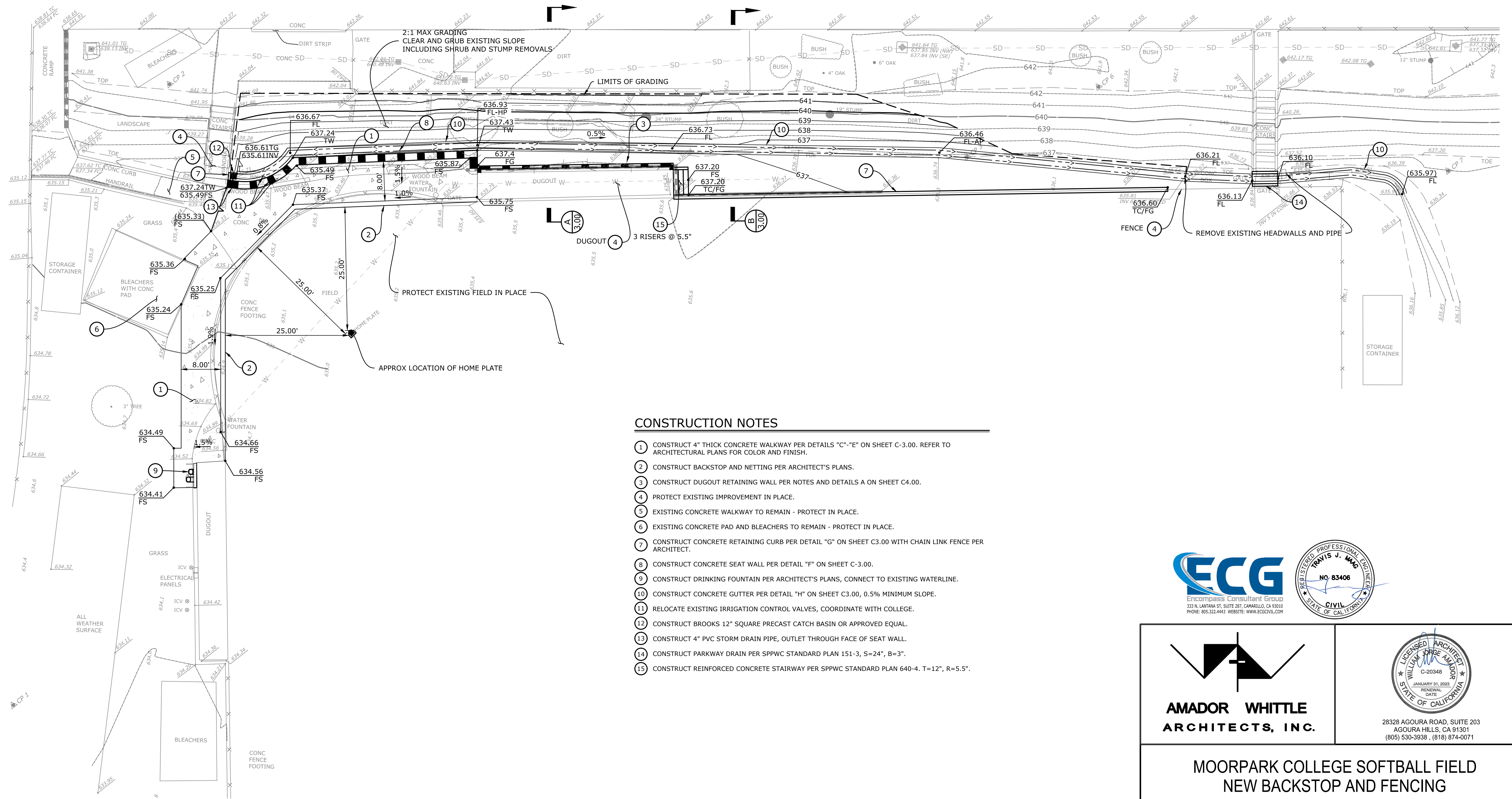
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REVISIONS	DATE: 05/27/21
	DRAWN: TJM
	CHECK: GHP
	JOB NO: 020-MPC-033

CIVIL COVER

C-1.00

IF THIS SHEET IS NOT 34" X 22", IT IS NOT FULL SIZE. SCALE DRAWINGS ACCORDINGLY.

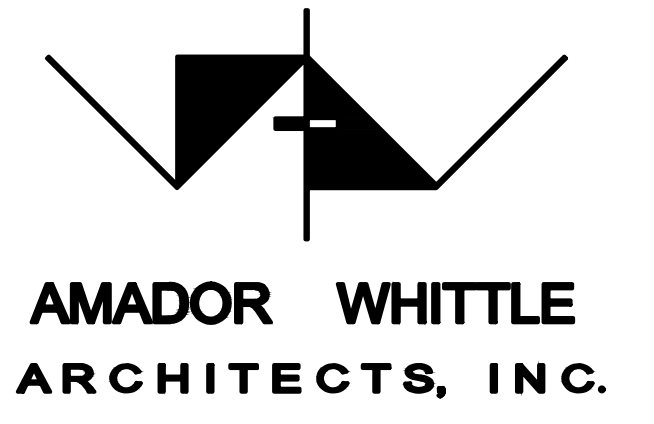
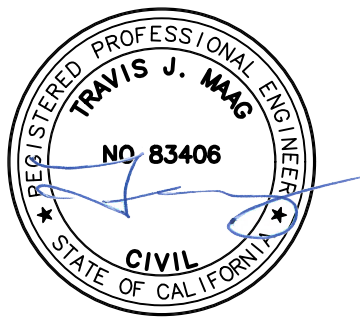
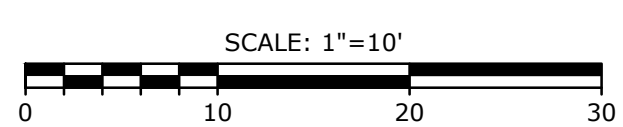
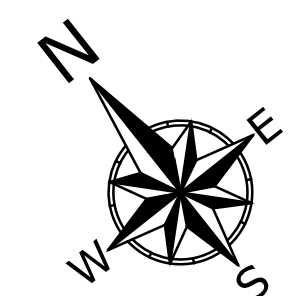


CONSTRUCTION NOTES

- 1 CONSTRUCT 4" THICK CONCRETE WALKWAY PER DETAILS "C"- "E" ON SHEET C-3.00. REFER TO ARCHITECTURAL PLANS FOR COLOR AND FINISH.
- 2 CONSTRUCT BACKSTOP AND NETTING PER ARCHITECT'S PLANS.
- 3 CONSTRUCT DUGOUT RETAINING WALL PER NOTES AND DETAILS A ON SHEET C4.00.
- 4 PROTECT EXISTING IMPROVEMENT IN PLACE.
- 5 EXISTING CONCRETE WALKWAY TO REMAIN - PROTECT IN PLACE.
- 6 EXISTING CONCRETE PAD AND BLEACHERS TO REMAIN - PROTECT IN PLACE.
- 7 CONSTRUCT CONCRETE RETAINING CURB PER DETAIL "G" ON SHEET C3.00 WITH CHAIN LINK FENCE PER ARCHITECT.
- 8 CONSTRUCT CONCRETE SEAT WALL PER DETAIL "F" ON SHEET C-3.00.
- 9 CONSTRUCT DRINKING FOUNTAIN PER ARCHITECT'S PLANS, CONNECT TO EXISTING WATERLINE.
- 10 CONSTRUCT CONCRETE GUTTER PER DETAIL "H" ON SHEET C3.00, 0.5% MINIMUM SLOPE.
- 11 RELOCATE EXISTING IRRIGATION CONTROL VALVES, COORDINATE WITH COLLEGE.
- 12 CONSTRUCT BROOKS 12" SQUARE PRECAST CATCH BASIN OR APPROVED EQUAL.
- 13 CONSTRUCT 4" PVC STORM DRAIN PIPE, OUTLET THROUGH FACE OF SEAT WALL.
- 14 CONSTRUCT PARKWAY DRAIN PER SPPWC STANDARD PLAN 151-3, S=24", B=3".
- 15 CONSTRUCT REINFORCED CONCRETE STAIRWAY PER SPPWC STANDARD PLAN 640-4, T=12", R=5.5".

CAUTION: UNDERGROUND STRUCTURES

ALL UNDERGROUND UTILITIES OR STRUCTURES REPORTED BY THE OWNER OR THOSE SHOWN ON RECORDS EXAMINED ARE INDICATED WITH THEIR APPROXIMATE LOCATION AND EXTENT. THE CONTRACTOR, BY ACCEPTING THESE PLANS OR PROCEEDING WITH IMPROVEMENTS PURSUANT THERETO, UNDERSTANDS THAT THEY AGREE TO ASSUME LIABILITY, AND AGREE TO HOLD THE UNDERSIGNED HARMLESS FOR ANY LIABILITY FOR DAMAGE RESULTING FROM THE EXISTENCE OF UNDERGROUND UTILITIES OR STRUCTURES NOT REPORTED TO THE UNDERSIGNED, NOT INDICATED ON THE PUBLIC RECORDS EXAMINED, LOCATED AT VARIANCE WITH THAT REPORTED OR SHOWN ON RECORDS EXAMINED. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES OR STRUCTURES FOUND AT THE SITE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNERS OF THE UTILITIES OR STRUCTURES CONCERNED BEFORE STARTING TO WORK.



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**MOORPARK COLLEGE SOFTBALL FIELD
NEW BACKSTOP AND FENCING**

7075 CAMPUS ROAD
MOORPARK, CALIFORNIA 93021

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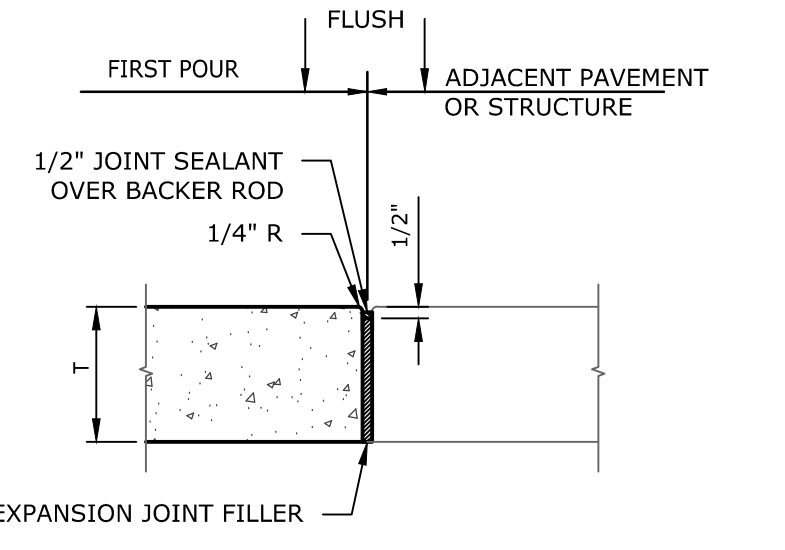
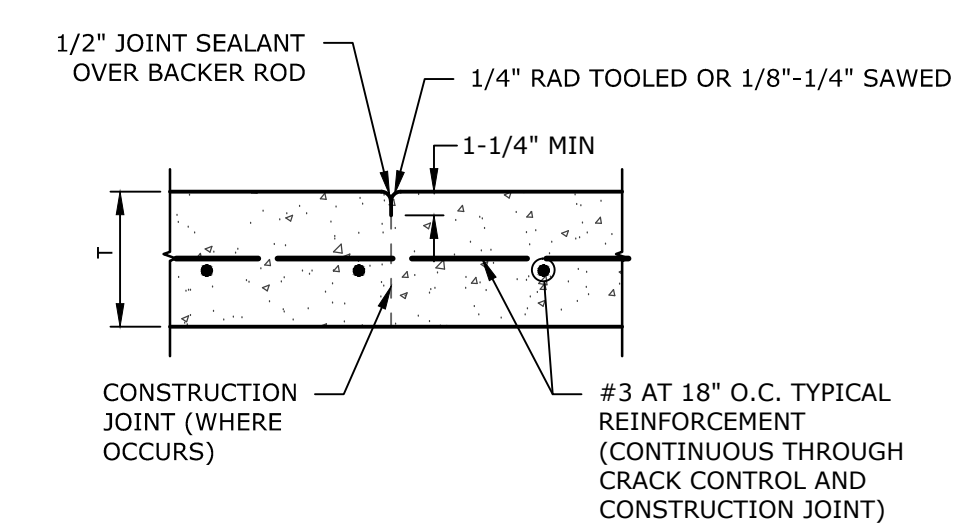
REVISIONS	DATE: 05/27/21
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CIVIL IMPROVEMENTS

C-2.00

IF THIS SHEET IS NOT 34" X 22", IT IS NOT FULL SIZE. SCALE DRAWINGS ACCORDINGLY

DRAWING: n:\projects\0075\06_gis\softball\engineering\acad\improvements\75_06_improvements.dwg

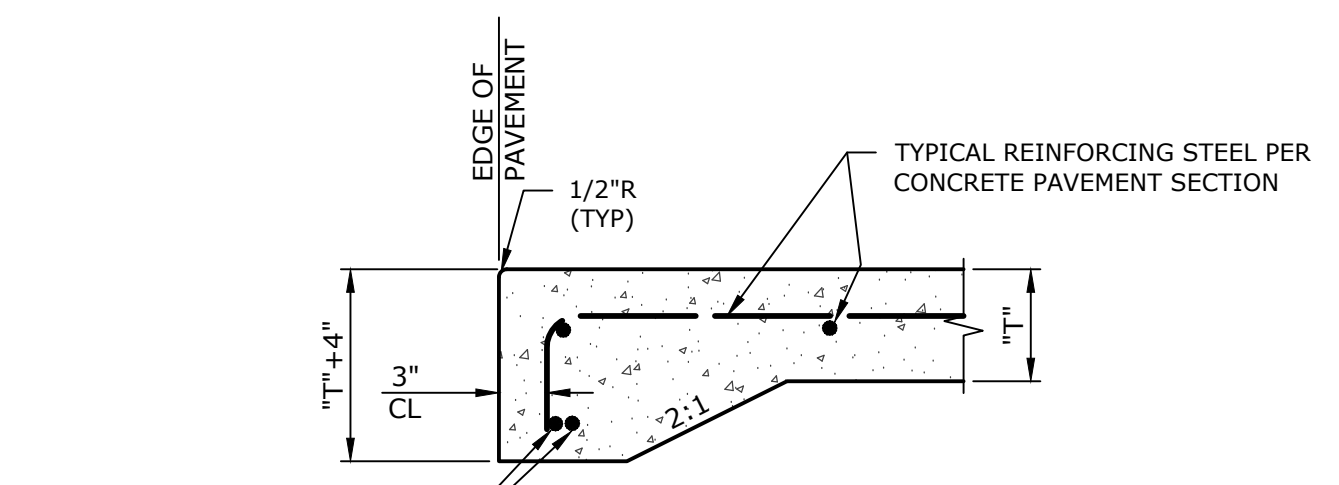


- NOTES:
1. CONCRETE SHALL BE CLASS 520-C-2500.
 2. CONSTRUCTION JOINTS SHALL ONLY BE LOCATED WHERE A CRACK CONTROL JOINT OR OTHER JOINT WOULD OTHERWISE HAVE BEEN REQUIRED.
 3. CRACK CONTROL JOINTS TO BE SPACED AT 8' MAX O.C. E.W.
 4. JOINTS SHALL BE SEALED WITH A UV-RESISTANT, FLEXIBLE SEALANT (SIKAFLEX-2C SL BY SIKA OR MASTERSEAL SL 2 BY BASF OR APPROVED EQUIVALENT) PLACED OVER THE JOINT.
 5. SEE PLAN FOR THICKNESS, T.

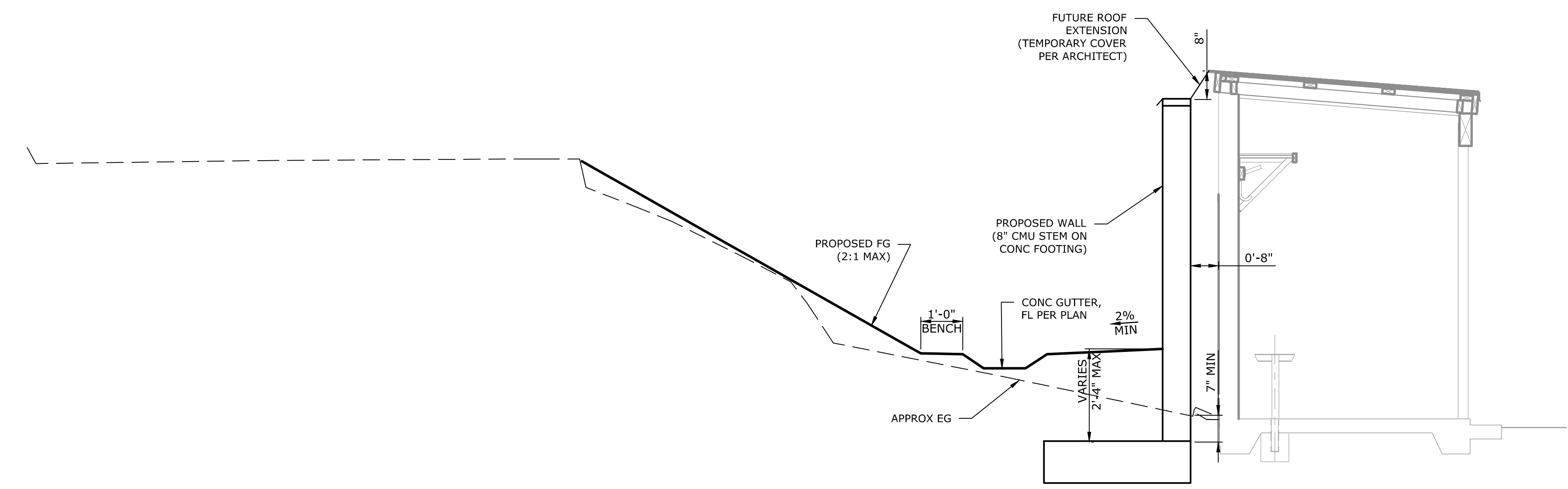
- NOTES:
1. EXPANSION JOINTS SHALL BE PLACED AT ABUTTING STRUCTURES AND EXISTING PAVEMENT JOINTS.
 2. EXPANSION JOINT MATERIAL SHALL BE ASPHALT IMPREGNATED FIBER NON-EXTRUDING JOINT MATERIAL (W.R. MEADOWS FIBER EXPANSION JOINT MATERIAL OR APPROVED EQUIVALENT).
 3. EXPANSION JOINTS SHALL BE SEALED WITH A UV-RESISTANT, FLEXIBLE SEALANT (SIKAFLEX-2 C NS EZ BY SIKA OR MASTERSEAL NP-1 BY BASF OR APPROVED EQUIVALENT) PLACED OVER THE JOINT.
 4. SEE PLAN FOR THICKNESS, T.
 5. STOP SLAB REINFORCING AT EXPANSION JOINTS, TYPICAL REINFORCEMENT NOT SHOWN.

CONSTRUCTION/CRACK CONTROL JOINT C
N.T.S.

SLAB EXPANSION JOINT D
N.T.S.



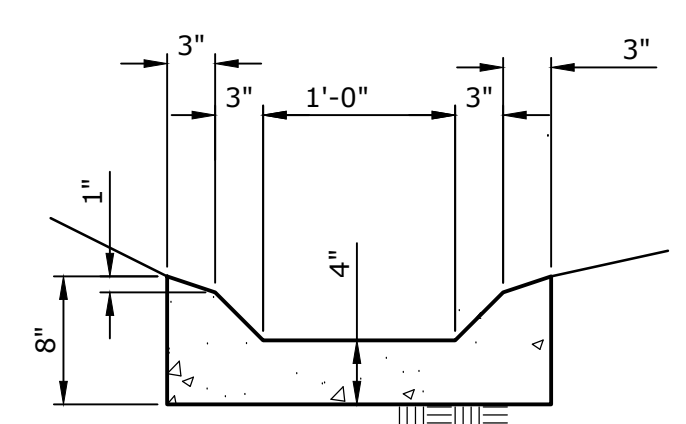
SLAB THICKENED EDGE DETAIL E
N.T.S.



SECTION AT DUGOUT WALL A
1"=2'

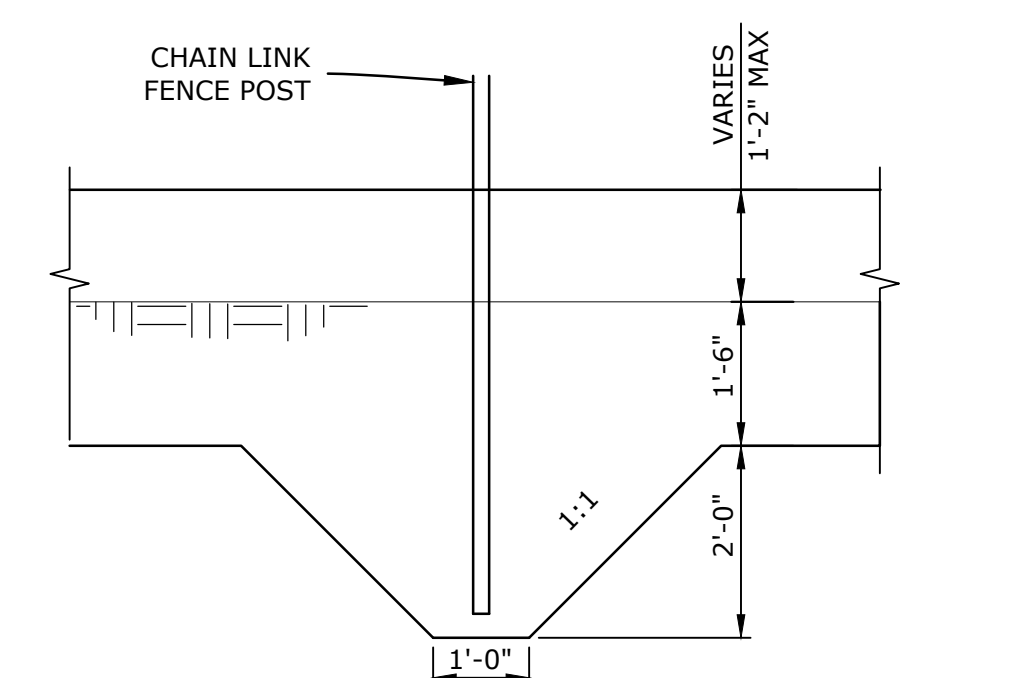


SECTION NEAR PITCHING AREA B
1"=2'

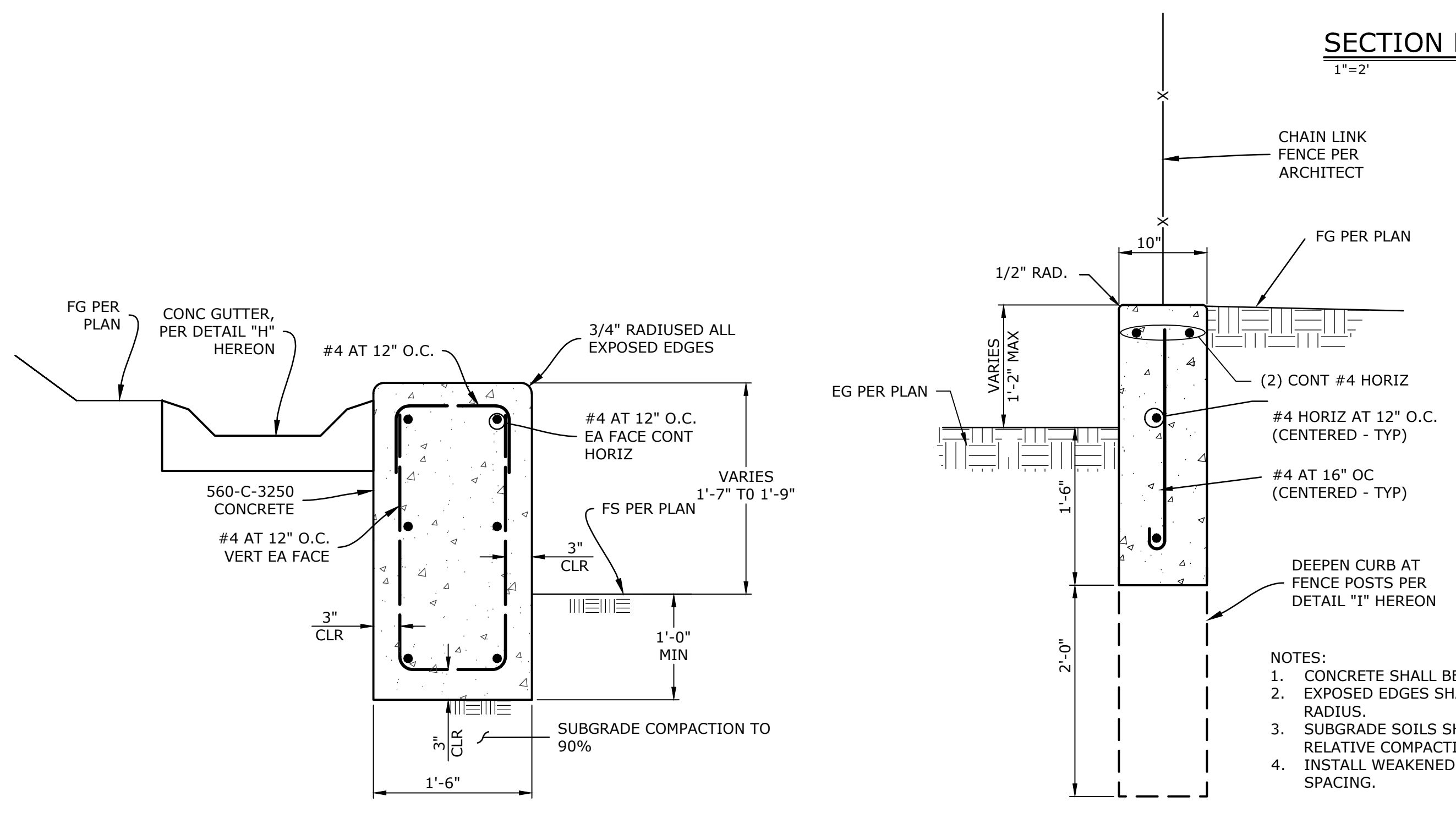


- NOTES:
1. CONCRETE SHALL BE CLASS 560-C-3250.
 2. EXPOSED EDGES SHALL HAVE A 1/2" TOOLED RADIUS.
 3. SUBGRADE SOILS SHALL BE COMPACTED TO 90% RELATIVE COMPACTION.
 4. INSTALL WEAKENED PLANE JOINTS AT 12' MAX SPACING.

CONCRETE GUTTER DETAIL H
N.T.S.

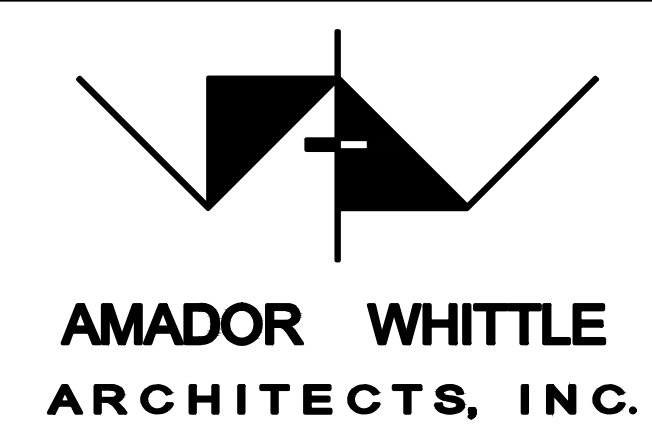
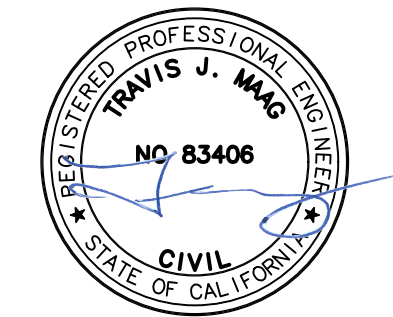


DEEPEMED CURB AT POST DETAIL I
N.T.S.



TYPICAL CONCRETE SEAT WALL F
N.T.S.

RETAINING CURB DETAIL G
N.T.S.



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AGOURA HILLS, CA 91301
(805) 530-3938, (818) 874-0071

**MOORPARK COLLEGE SOFTBALL FIELD
NEW BACKSTOP AND FENCING**

7075 CAMPUS ROAD
MOORPARK, CALIFORNIA 93021

NOTE: THIS SHEET IS ONE OF A SET OF DOCUMENTS WHICH INCLUDES, BUT IS NOT LIMITED TO, DRAWINGS AND SPECIFICATIONS ADDRESSING ALL TRADES. GENERAL CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL BIDDERS WITH A FULL SET OF CONSTRUCTION DOCUMENTS. ALL BIDDERS SHALL REVIEW THE ENTIRE SET OF DOCUMENTS. IF THERE IS A CONFLICT BETWEEN DISCIPLINES, THE MOST EXPENSIVE OPTION SHALL BE BID.

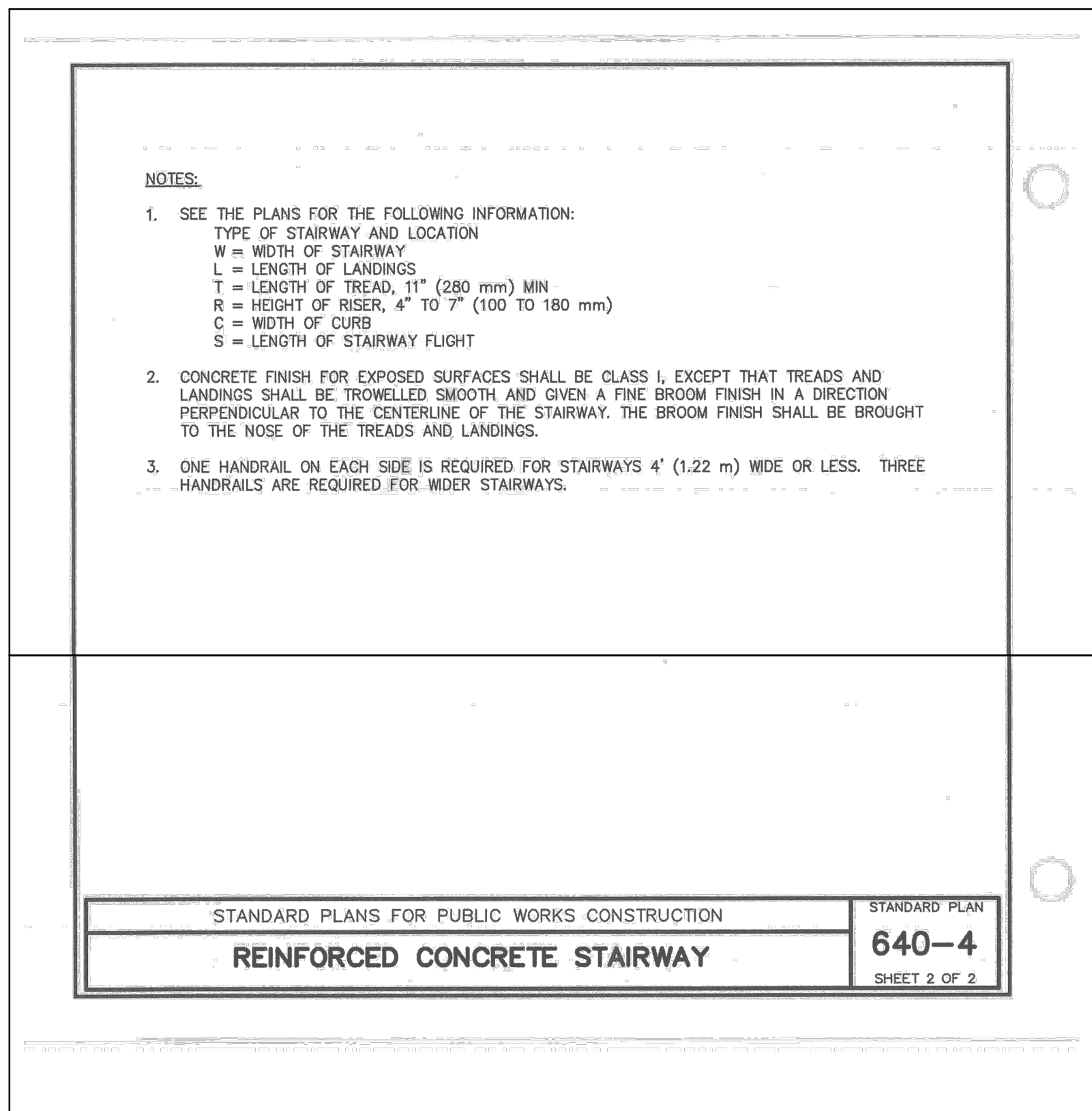
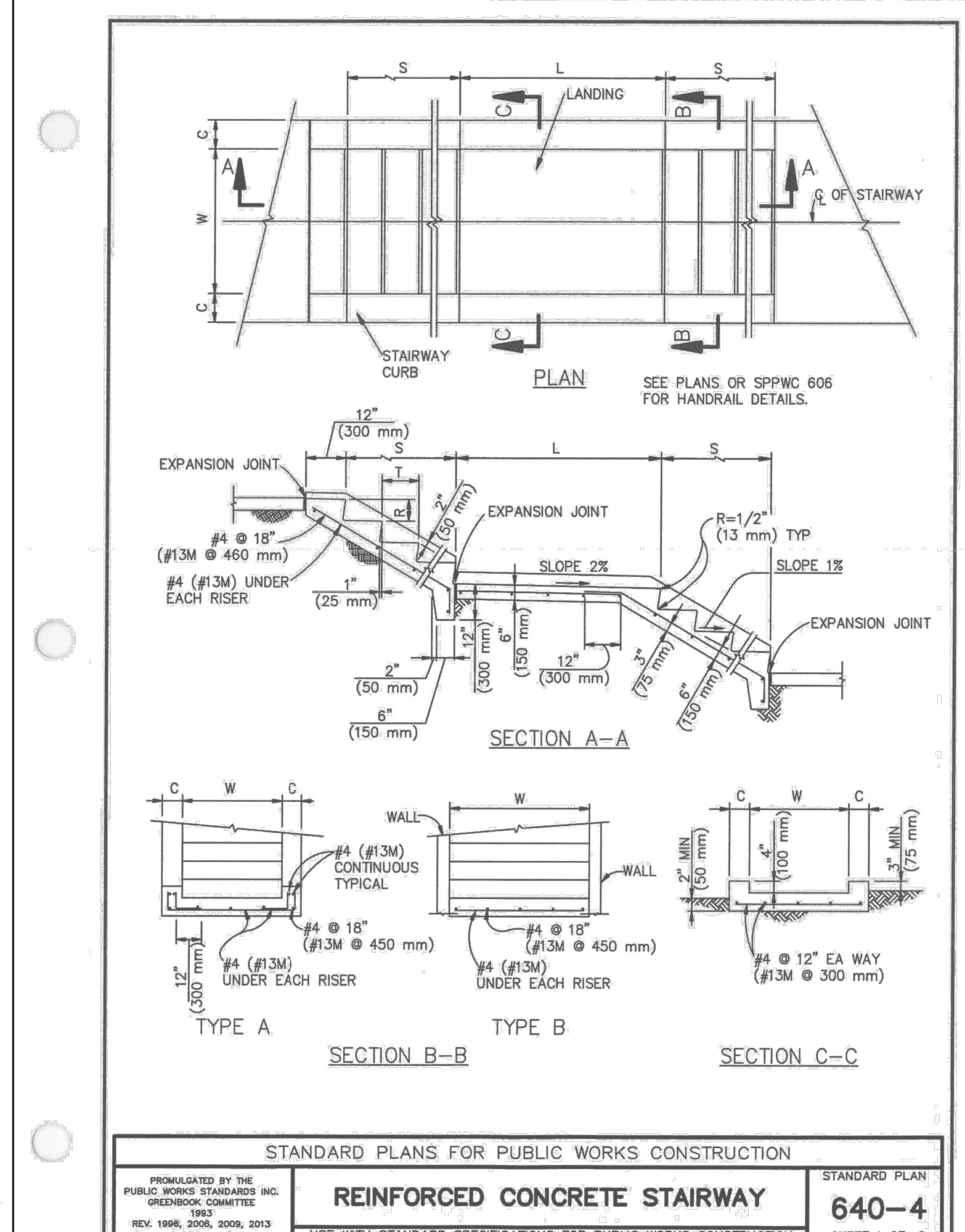
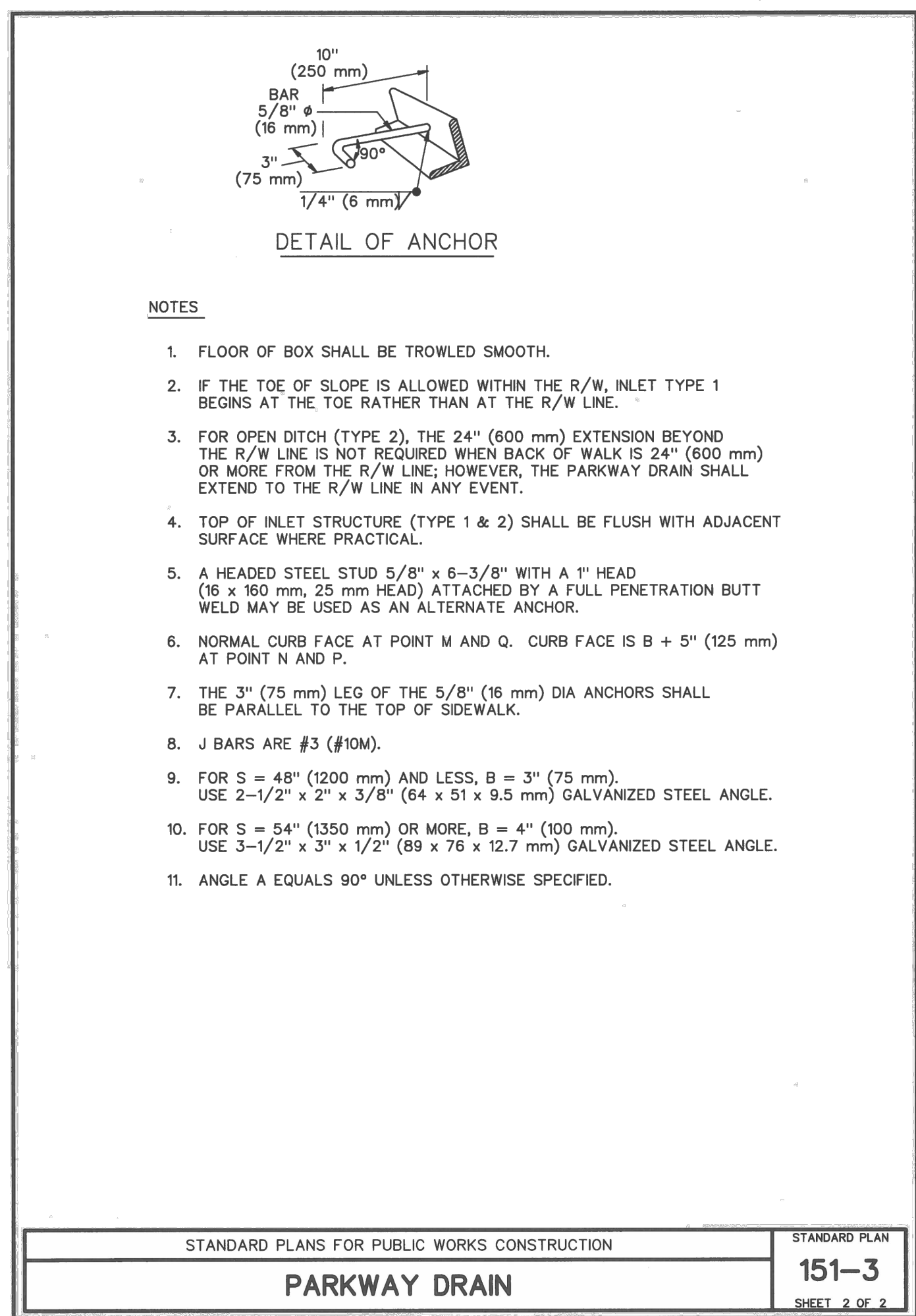
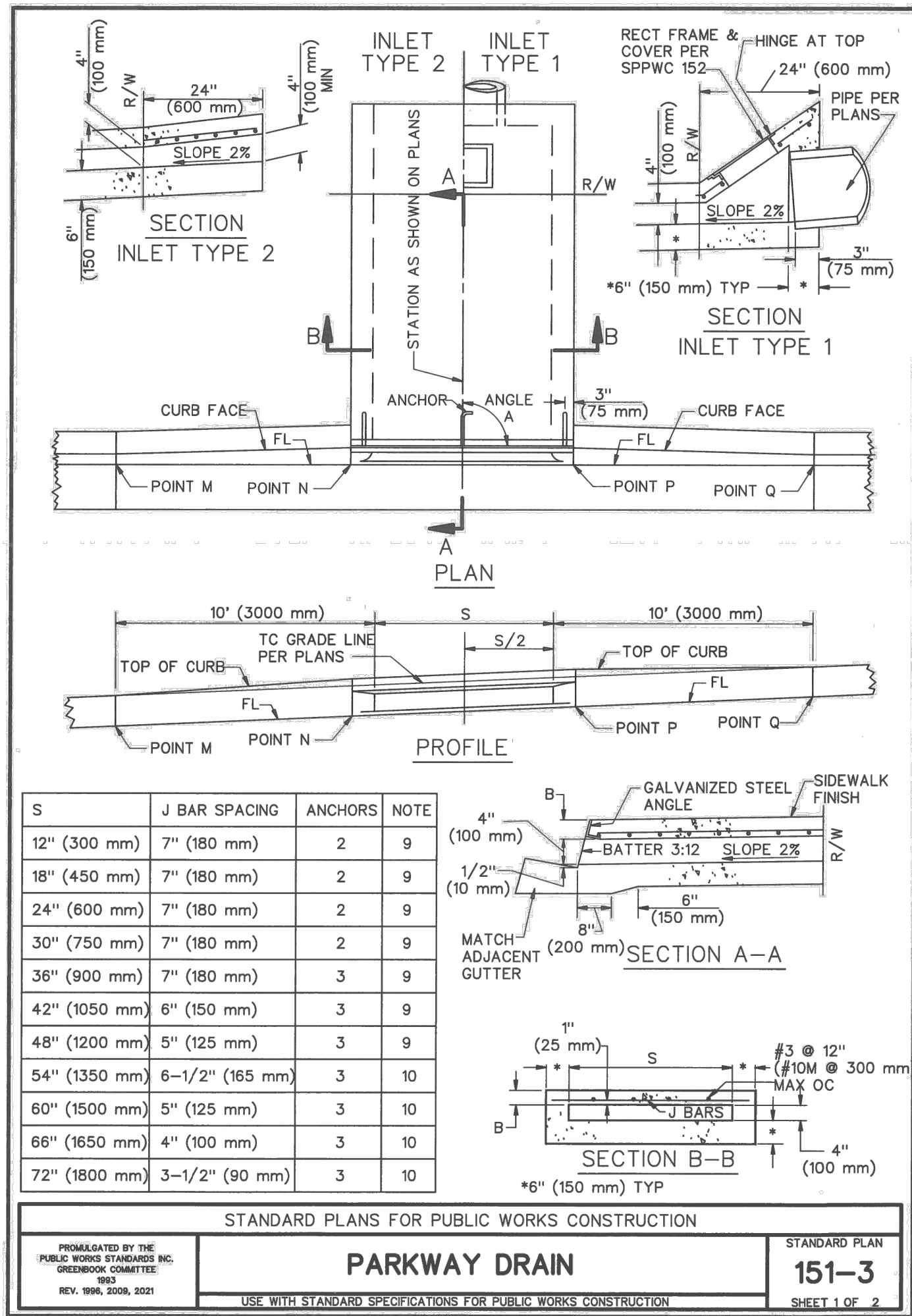
REVISIONS	DATE: 05/27/21
	DRAWN: TJM
	CHECK: GHP
	JOB NO: 020-MPC-033

CIVIL SECTIONS AND DETAILS

C-3.00
OF

IF THIS SHEET IS NOT 34" X 22", IT IS NOT FULL SIZE. SCALE DRAWINGS ACCORDINGLY

DRAWING: n:\projects\0075\06 girls softball\engineering\acad\improvements\75_06 improvements.dwg



ENCOMPASS CONSULTANT GROUP
 227 N. LANTANA ST., SUITE 307, CARROLL, CA 93010
 PHONE: 805.322.4443 WEBSITE: WWW.ECCIVIL.COM

AMADOR WHITTLE ARCHITECTS, INC.

**MOORPARK COLLEGE SOFTBALL FIELD
 NEW BACKSTOP AND FENCING**

7075 CAMPUS ROAD
 MOORPARK, CALIFORNIA 93021

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STANDARD DETAILS

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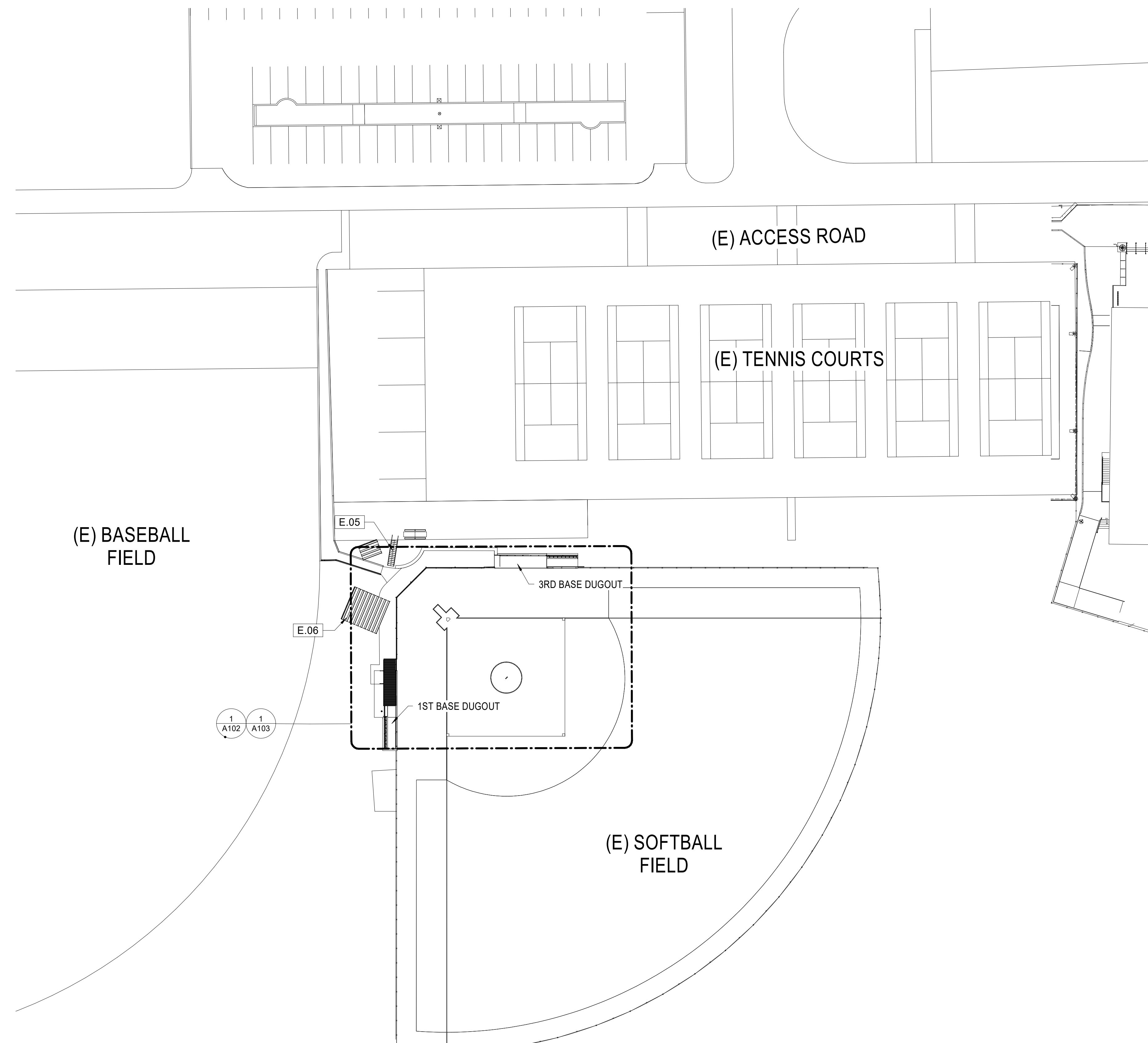
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OF

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GENERAL NOTES

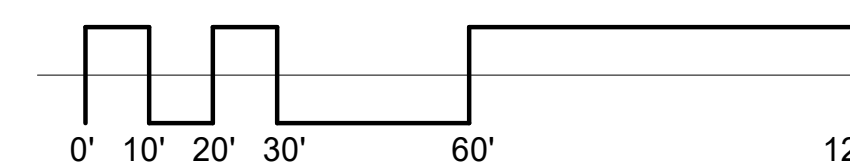
- 1. ALL ITEM SHOWN ARE NEW UNLESS NOTED AS EXISTING.



KEYNOTE LEGEND

- E.05 (E) CONCRETE STAIRS
- E.06 (E) METAL BLEACHERS

1 SITE PLAN
1" = 30'-0"



AMADOR WHITTLE
ARCHITECTS, INC.



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**MOORPARK COLLEGE SOFTBALL FIELD
NEW BACKSTOP AND FENCING**

7075 CAMPUS ROAD
MOORPARK, CALIFORNIA 93021

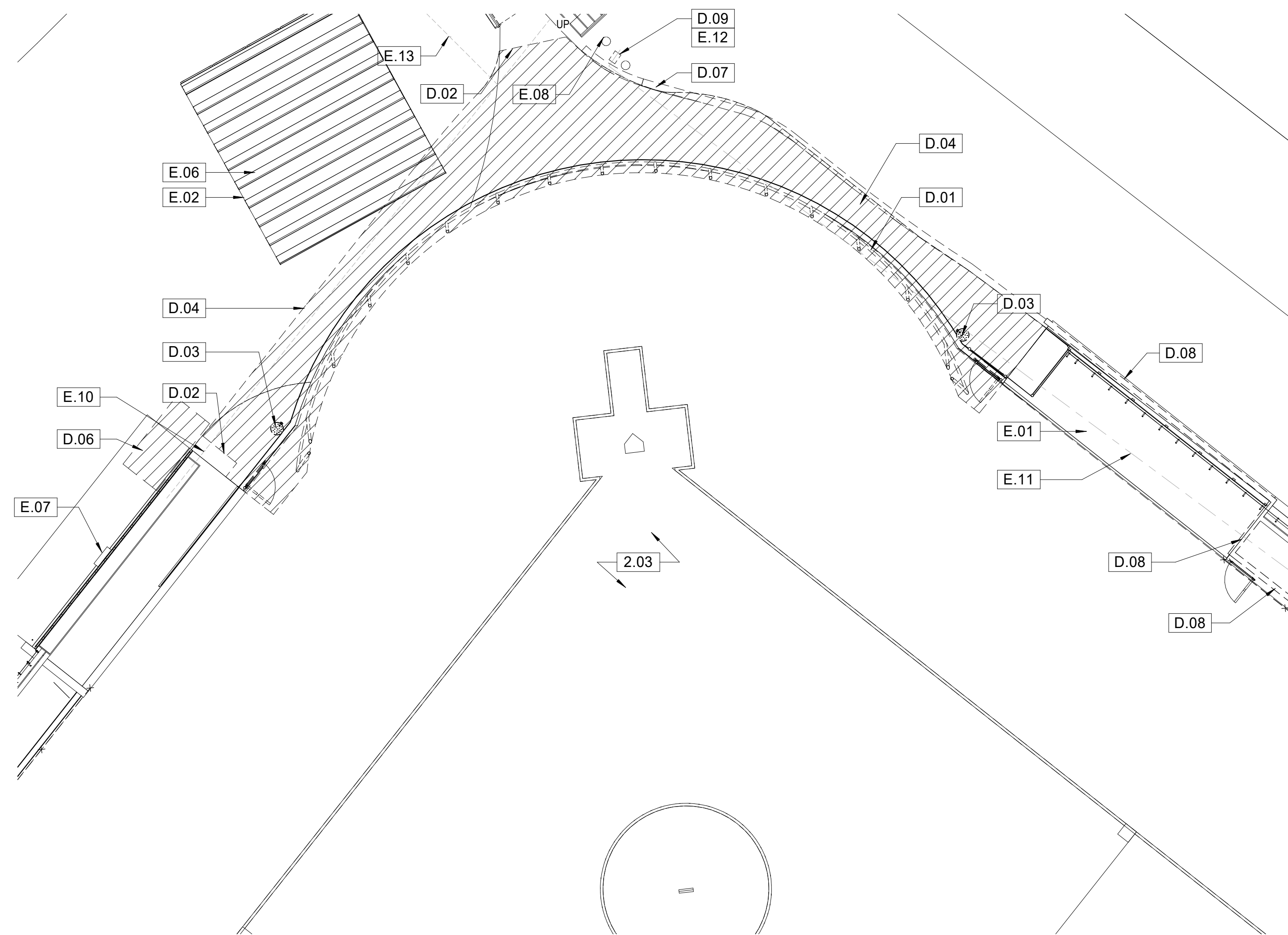
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SITE PLAN

A101

IF THIS SHEET IS NOT 34" X 22", IT IS NOT FULL SIZE, SCALE DRAWINGS ACCORDINGLY



1 DEMOLITION PLAN
1/8" = 1'-0"

DEMOLITION KEYNOTE LEGEND

- D.01 DEMOLISH (E) BACKSTOP, GATES AND CURB
- D.02 SAWCUT (E) CONCRETE
- D.03 DEMOLISH (E) DRINKING FOUNTAIN
- D.04 DEMOLISH (E) CONCRETE
- D.06 CLEAR AND GRUB TURF - ADJUST SPRINKLER PATTERN
- D.07 DEMOLISH (E) WOODEN CURB
- D.08 DEMOLISH (E) CONCRETE WALL AND FENCE
- D.09 REMOVE AND RELOCATE (2) (E) VALVES & QUICK COUPLER
- E.01 (E) DUGOUT TO REMAIN
- E.02 (E) CONCRETE PAD TO REMAIN
- E.06 (E) METAL BLEACHERS
- E.07 (E) ELECTRICAL BOX
- E.08 (E) POC VALVE
- E.10 (E) POC AT WARNING & BURIED BOX WIRES
- E.11 (E) 4" ACP
- E.12 (E) 2 1/2" PIPE BELOW
- E.13 (E) 3/4" PVC POTABLE



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**MOORPARK COLLEGE SOFTBALL FIELD
NEW BACKSTOP AND FENCING**

7075 CAMPUS ROAD
MOORPARK, CALIFORNIA 93021

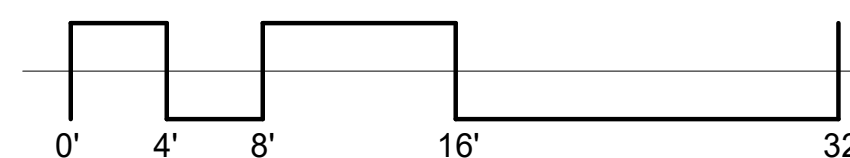
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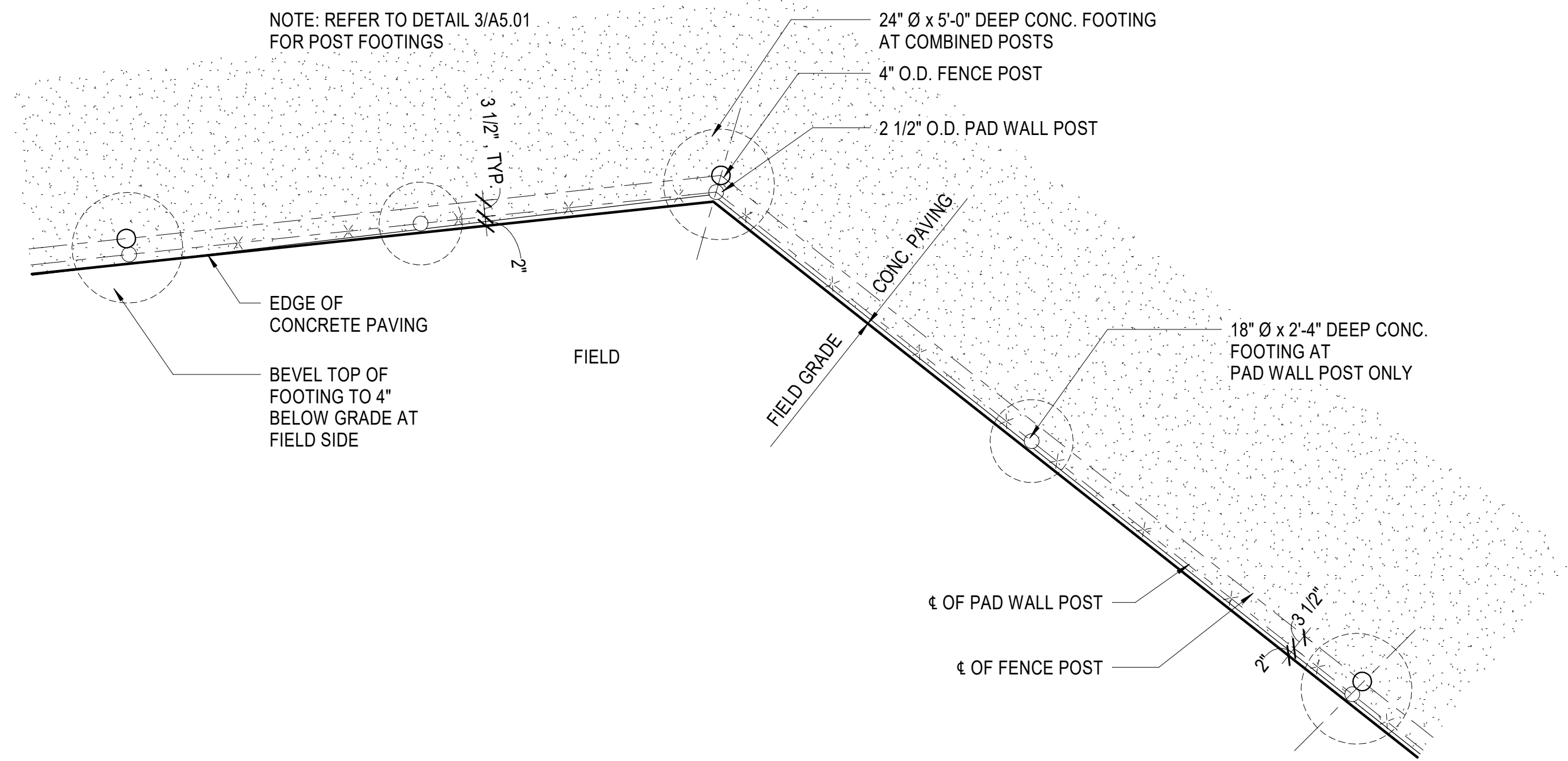
DEMOLITION PLAN

A102

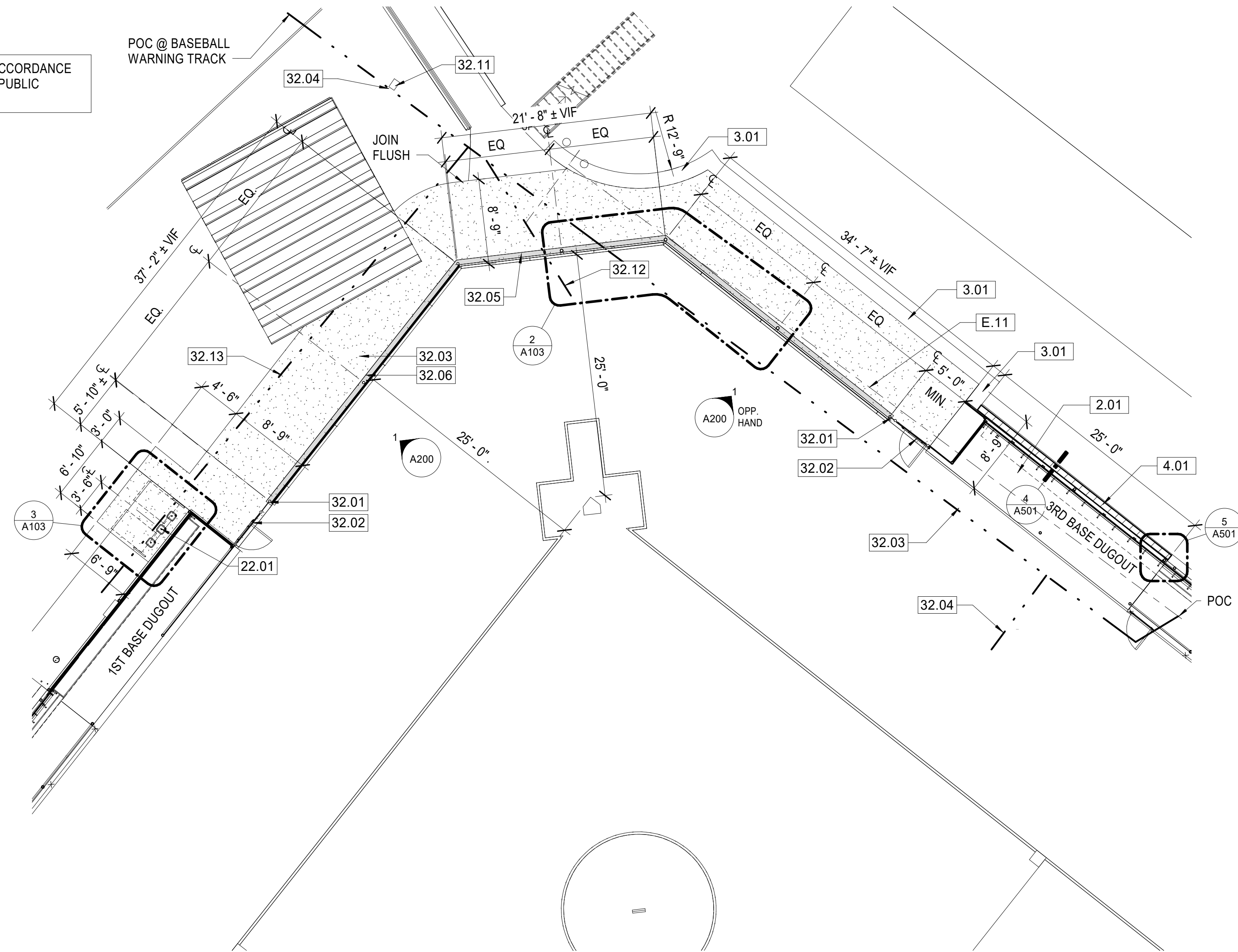
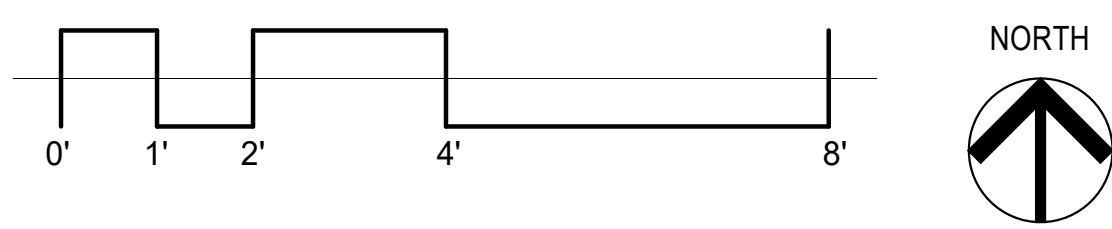
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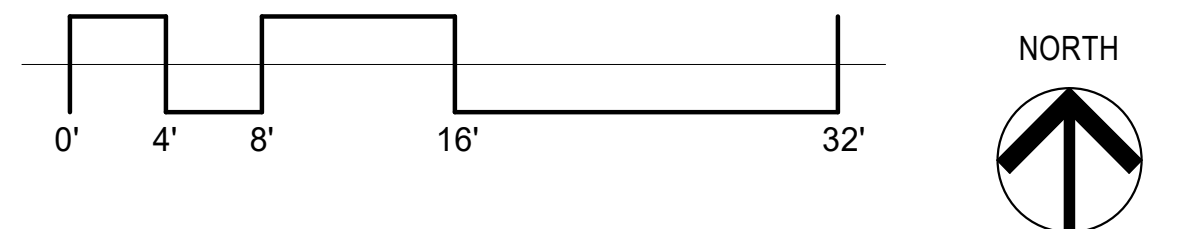
NOTE: ALL IRRIGATION WORK SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 2021 EDITION.



2 ENLARGED PARTIAL BACKSTOP PLAN
1/2" = 1'-0"

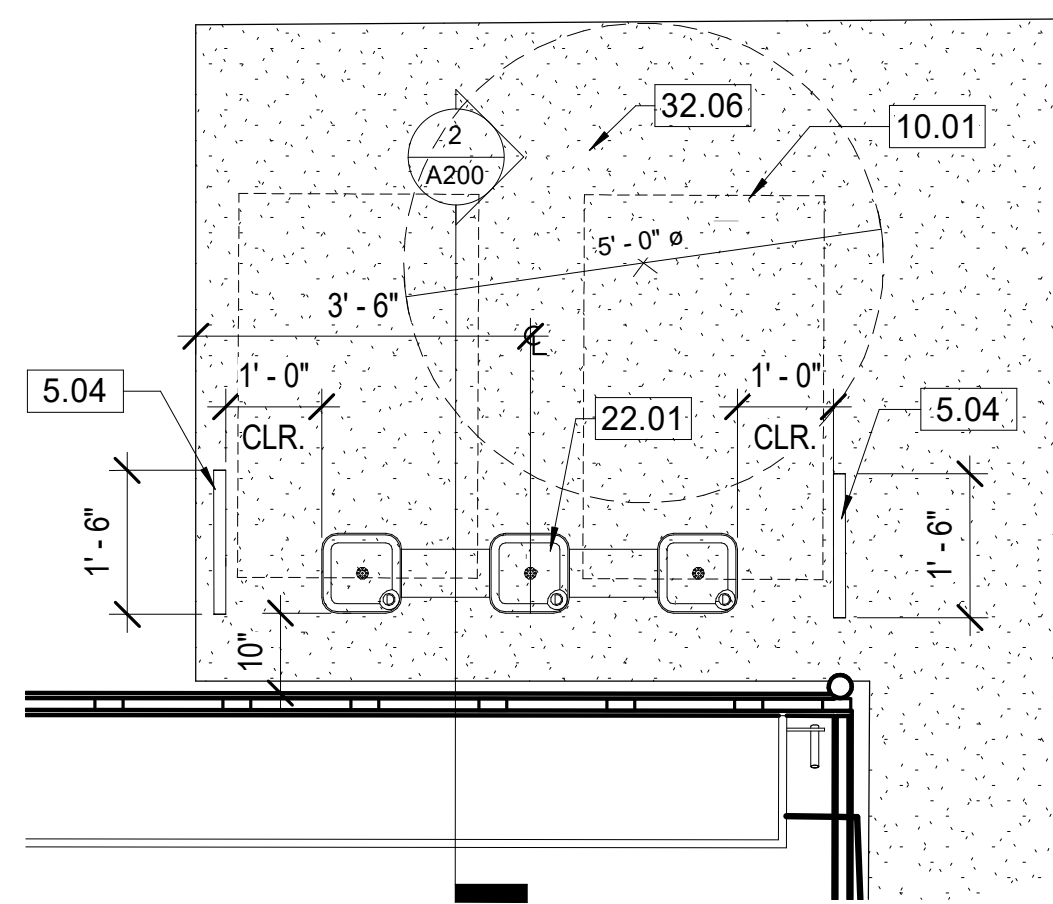


1 FLOOR PLAN
1/8" = 1'-0"

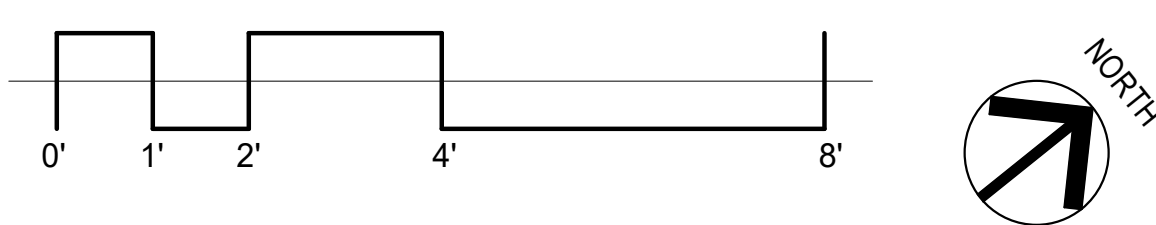


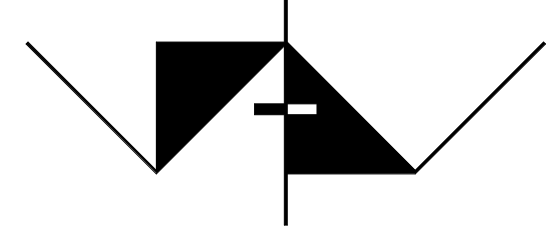

KEYNOTE LEGEND

- 3.01 (N) 8" WIDE BY 10" HIGH CONCRETE CURB WITH CONTINUOUS #4 REBAR @ TOP AND BOTTOM, SEE CIVIL DWGS.
- 4.01 (N) 8" C.M.U. WALL, SEE CIVIL DWGS.
- 5.04 DRINKING FOUNTAIN WING GUARD, SEE DETAIL 4/A2.00
- 10.01 30" x 48" CLEAR SPACE
- 22.01 FREESTANDING HI-LO DRINKING FOUNTAIN WITH HYDRATION STATION AND FILTER
- 32.01 CHAIN-LINK FENCE FRAME, WELDED TO MBS SYSTEM POST
- 32.02 3'-6" CHAIN-LINK GATE
- 32.03 4" C900 CLASS 235 PVC PIPE WITH DUCTILE IRON FITTING
- 32.04 14 GA. DIRECT BURY SOLID CORE WIRE FOR IRRIGATION BOX 4" DEEP, CONNECT TO (3) 1" SCHEDULE 40
- 32.05 BACKSTOP SYSTEM W/ 4'-0" HIGH FRAME & REMOVABLE PADS
- 32.06 4" THICK CONCRETE SIDEWALK W/ #4 REBAR @ 18" O.C. EACH WAY
- 32.11 RELOCATE (E) VALVE AND QUICK COUPLER. LEAVE 2" PVC STUB FOR FUTURE
- 32.12 ADD (6) 2" PVC SLEEVES UNDER WALKWAY AND BACK STOP INTO INFIELD
- 32.13 PROVIDE (1) 2" PVC SLEEVE UNDER CONC. WALKWAY
- E.11 (E) 4" ACP



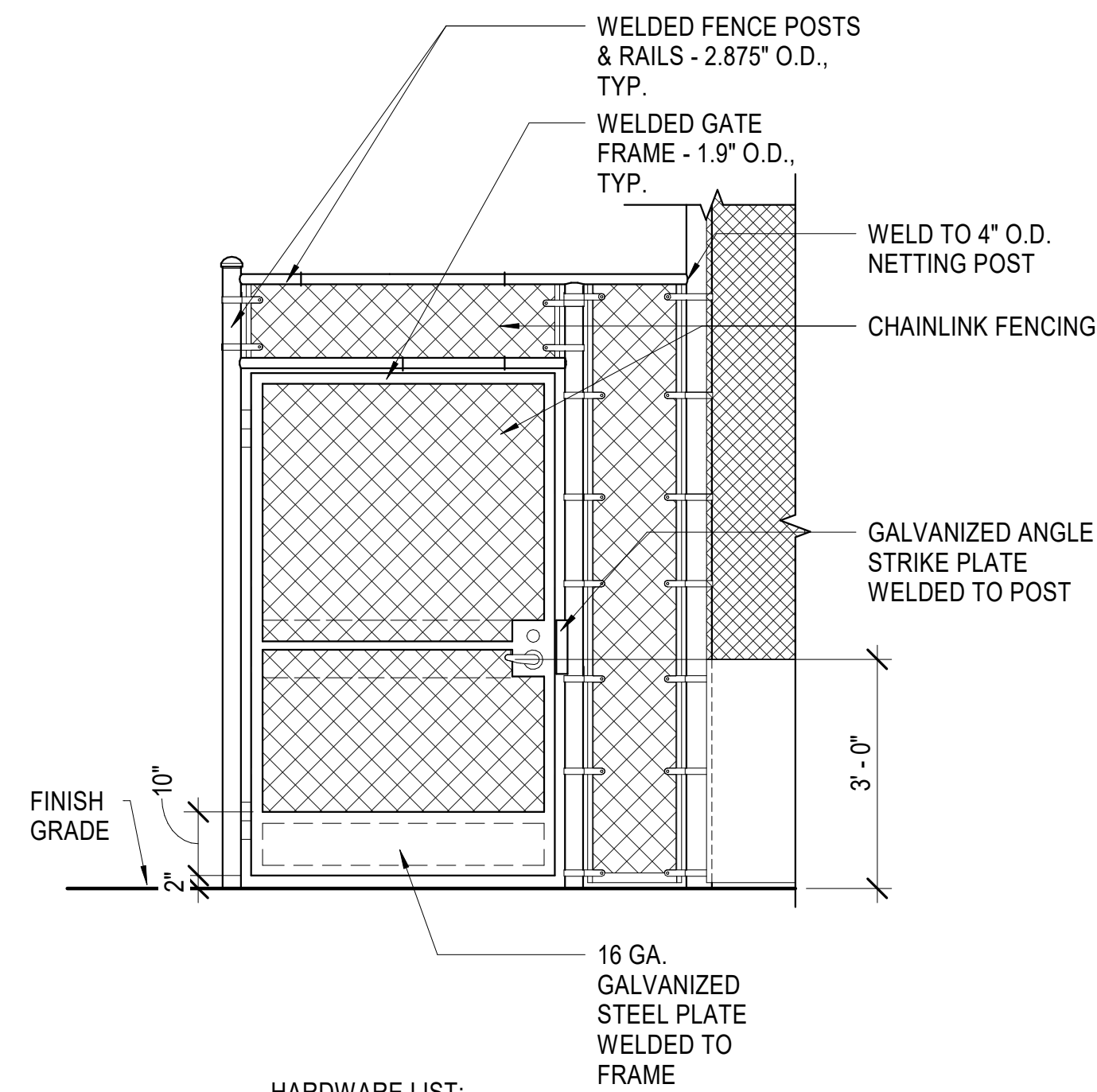
3 ENLARGED DF PLAN
1/2" = 1'-0"



 AMADOR WHITTLE ARCHITECTS, INC.	 <small>28328 AGOURA ROAD, SUITE 203 AGOURA HILLS, CA 91301 (805) 530-3938, (818) 874-0071</small>
<p>MOORPARK COLLEGE SOFTBALL FIELD NEW BACKSTOP AND FENCING</p> <p>7075 CAMPUS ROAD MOORPARK, CALIFORNIA 93021</p>	
<small>NOTE: THIS SHEET IS ONE OF A SET OF DOCUMENTS WHICH INCLUDES, BUT IS NOT LIMITED TO, DRAWINGS AND SPECIFICATIONS ADDRESSING ALL TRADES. GENERAL CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL BIDDERS WITH A FULL SET OF CONSTRUCTION DOCUMENTS. ALL BIDDERS SHALL REVIEW THE ENTIRE SET OF DOCUMENTS. IF THERE IS A CONFLICT BETWEEN DISCIPLINES, THE MOST EXPENSIVE OPTION SHALL BE BID.</small>	
<small>REVISIONS</small>	<small>DATE: 6/17/21</small> <small>DRAWN: Author</small> <small>CHECK: Checker</small> <small>JOB NO: 020-MPC-033</small>
<p>ENLARGED PLANS</p> <p style="font-size: 12px; font-weight: bold;">A103</p> <p style="font-size: 8px;">IF THIS SHEET IS NOT 34" X 22", IT IS NOT FULL SIZE, SCALE DRAWINGS ACCORDINGLY</p>	

KEYNOTE LEGEND

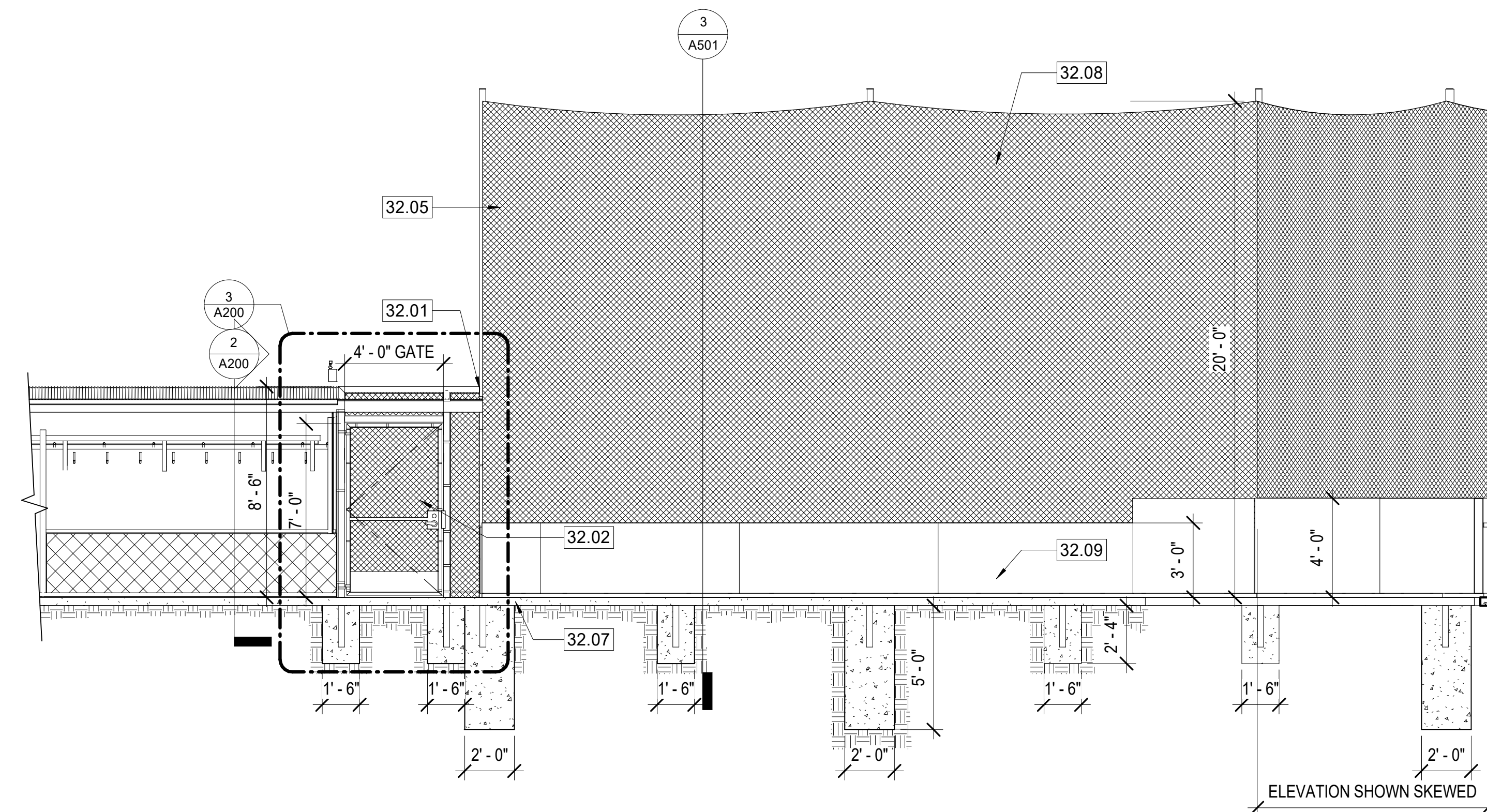
- 32.01 CHAIN-LINK FENCE FRAME, WELDED TO MBS SYSTEM POST
- 32.02 3'-6" CHAIN-LINK GATE
- 32.05 BACKSTOP SYSTEM W/ 4'- 0" HIGH FRAME & REMOVABLE PADS
- 32.07 CONCRETE
- 32.08 NYLON NETTING
- 32.09 VINYL ENCASED FOAM PADDING



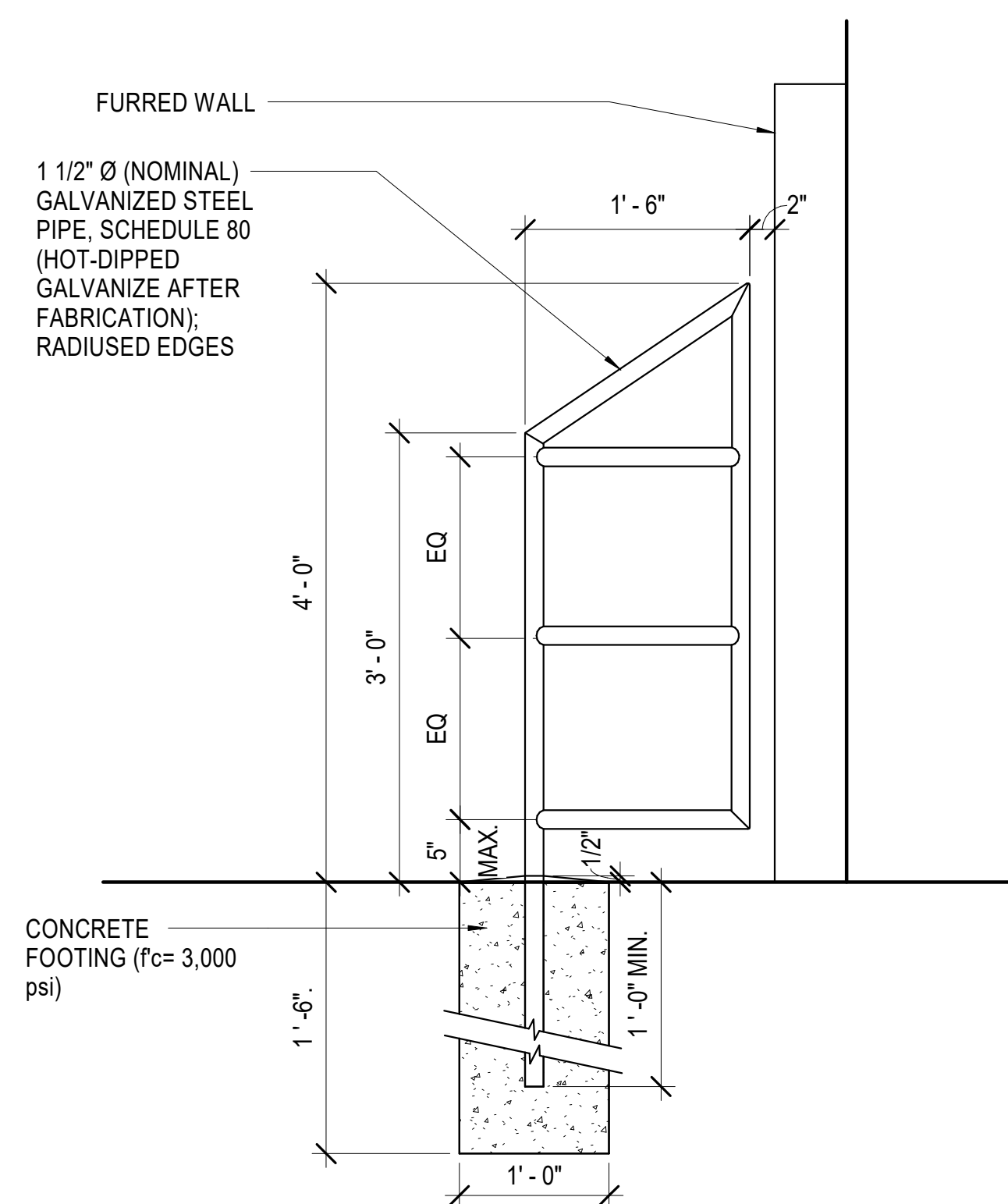
HARDWARE LIST:

1. HINGES - STAINLESS STEEL BALL BEARING HINGES, MODEL BB7, FROM RAMCAST, WWW.RAMCASTSTEEL.NET
2. WELDABLE LOCK BOX - KEEDEX K-BX190R2BY
3. LEVER HARDWARE - MARKS LA118JC OR SCHLAGE L-9066-06N-XL11-897 KEY IN CYLINDER LOCKS OR UNLOCKS BOTH LEVERS

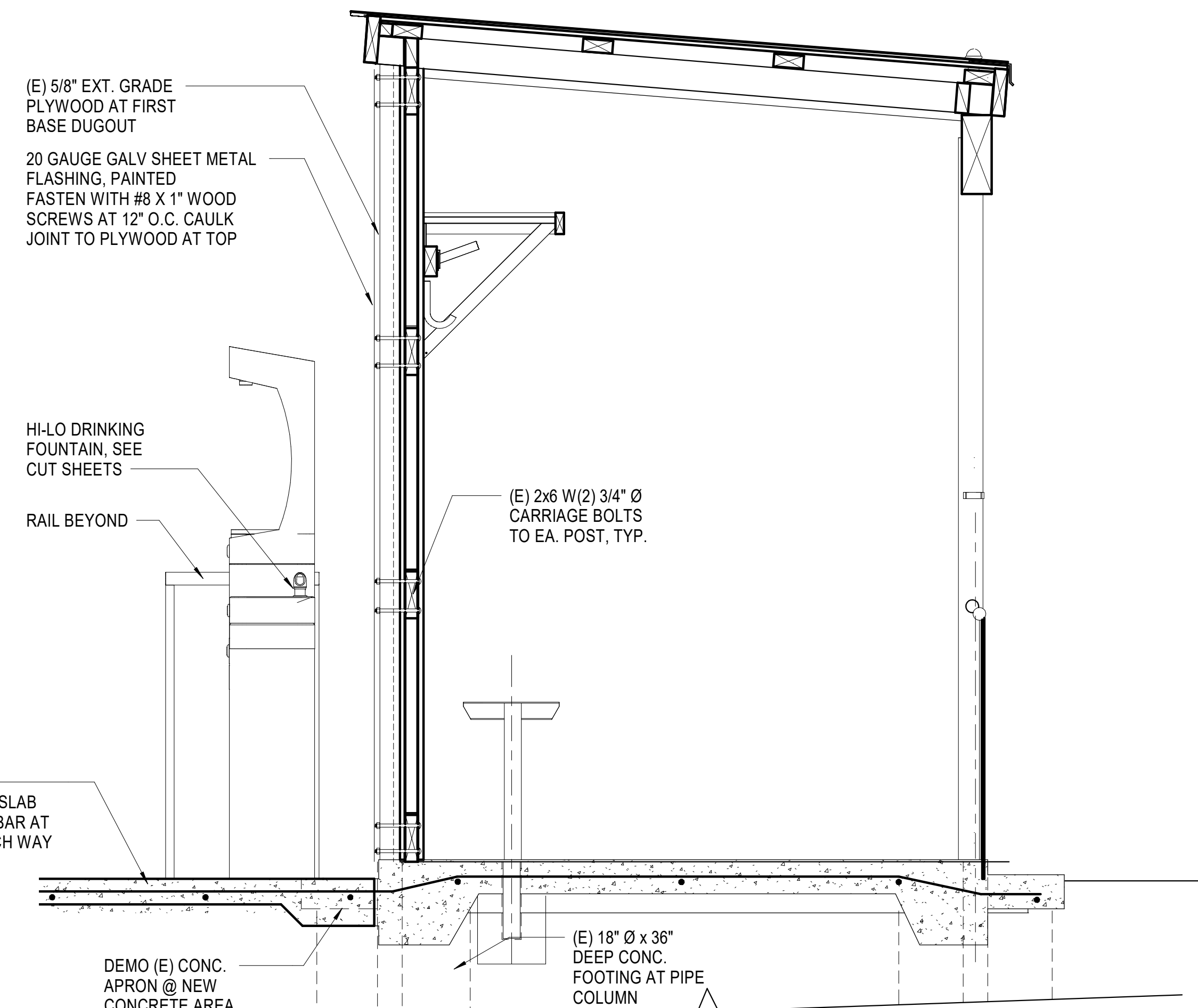
3 ACCESSIBLE PEDESTRIAN GATE
 1/2" = 1'-0"



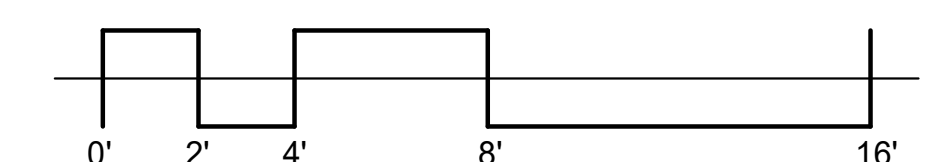
1 ELEVATION AT NEW GATE AND BACKSTOP (TYP. 2)
 1/4" = 1'-0"

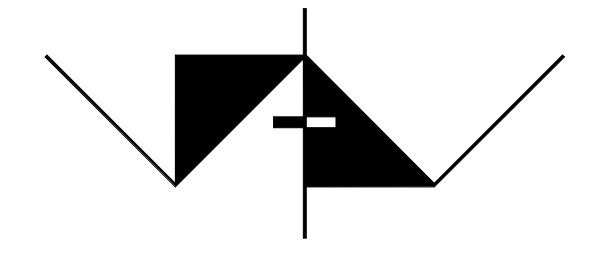


4 WING GUARD DETAIL
 1" = 1'-0"




2 DRINKING FOUNTAIN DETAIL
 1" = 1'-0"





AMADOR WHITTLE
ARCHITECTS, INC.



LICENSED ARCHITECT
 WILLIAM JORGE AMADOR
 C-20348
 JANUARY 31, 2023
 RENEWAL DATE
 STATE OF CALIFORNIA

28328 AGOURA ROAD, SUITE 203
 AGOURA HILLS, CA 91301
 (805) 530-3938, (818) 874-0071

MOORPARK COLLEGE SOFTBALL FIELD NEW BACKSTOP AND FENCING

7075 CAMPUS ROAD
 MOORPARK, CALIFORNIA 93021

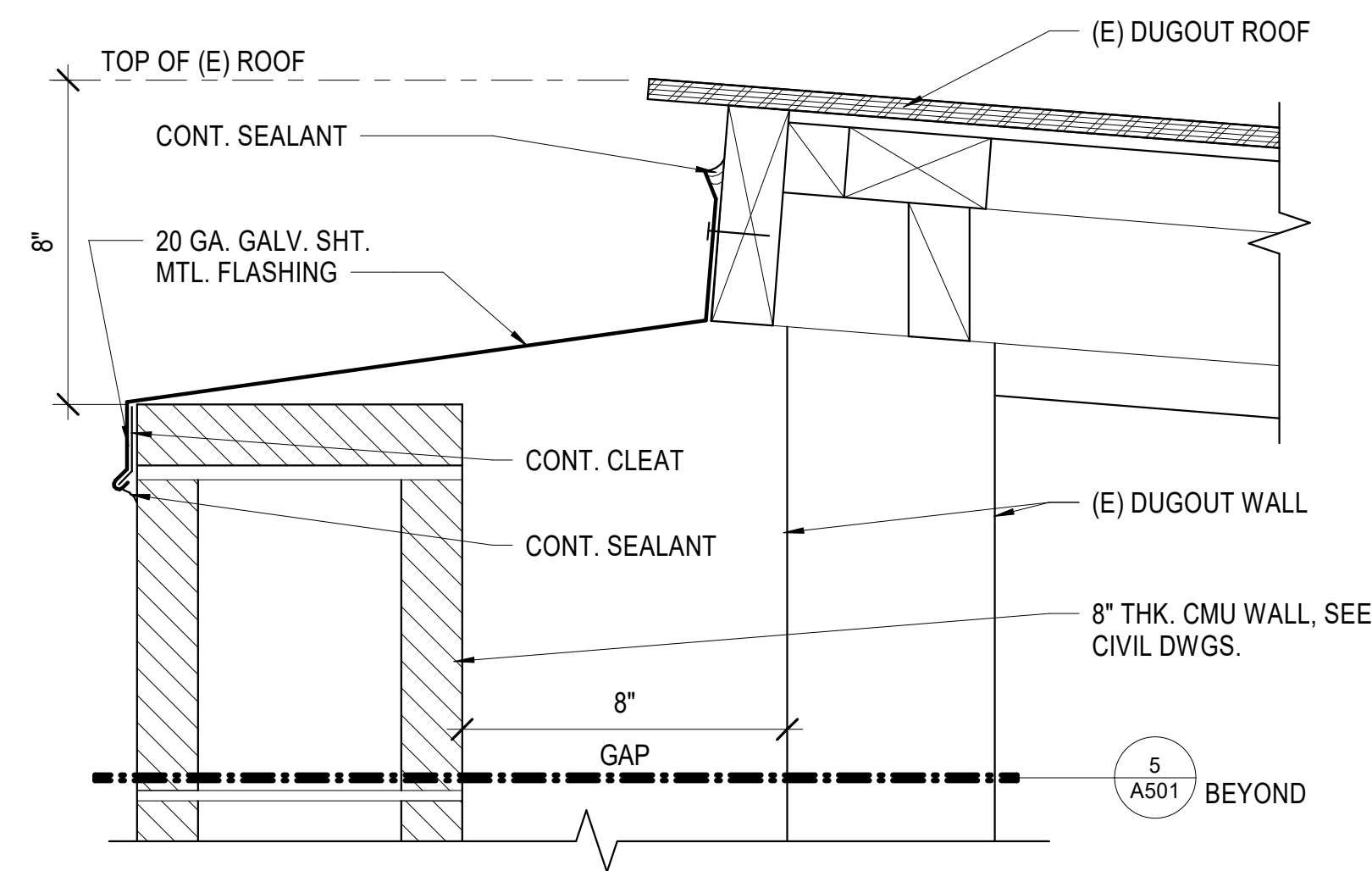
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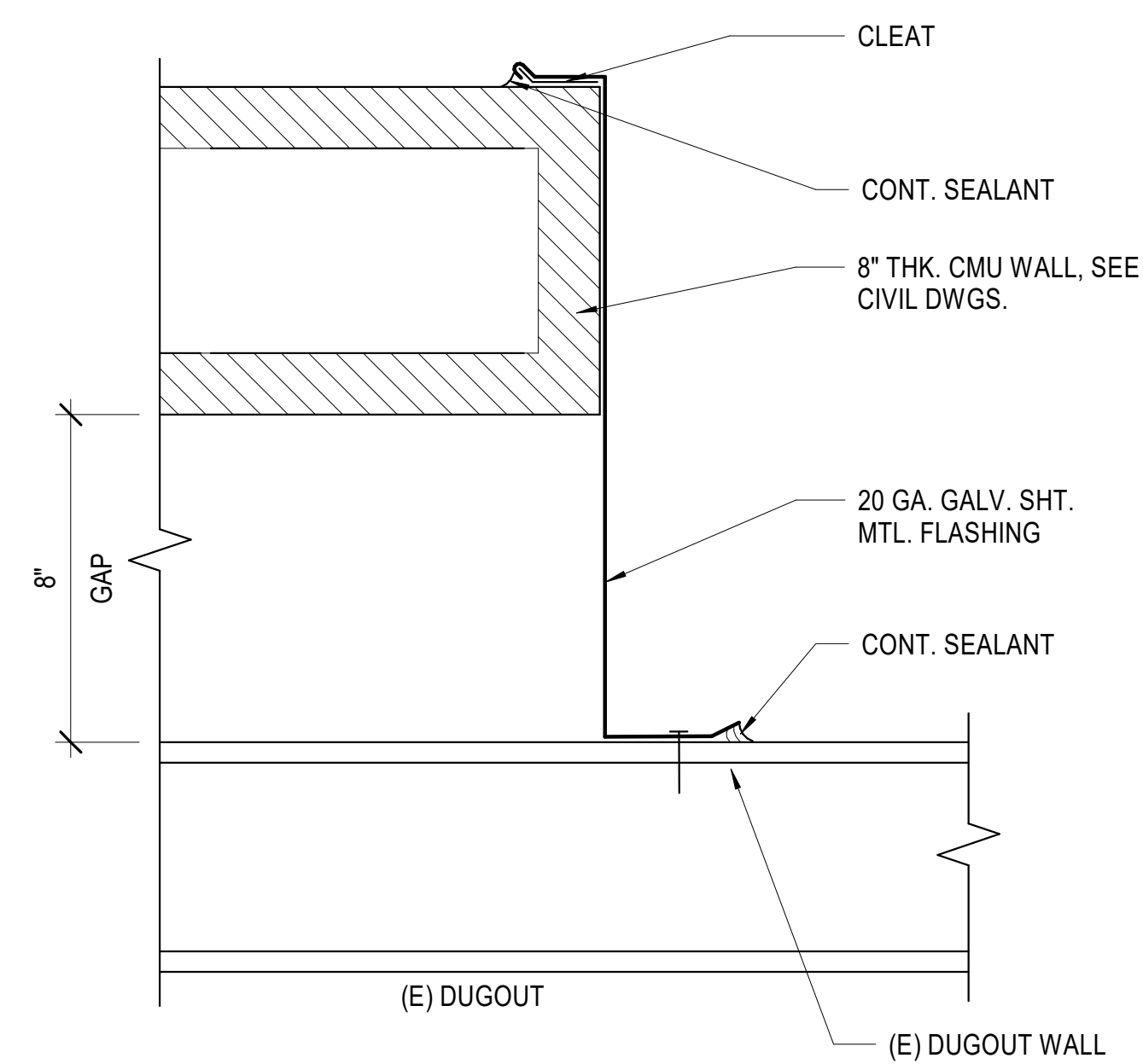
ELEVATIONS & DETAILS

A200

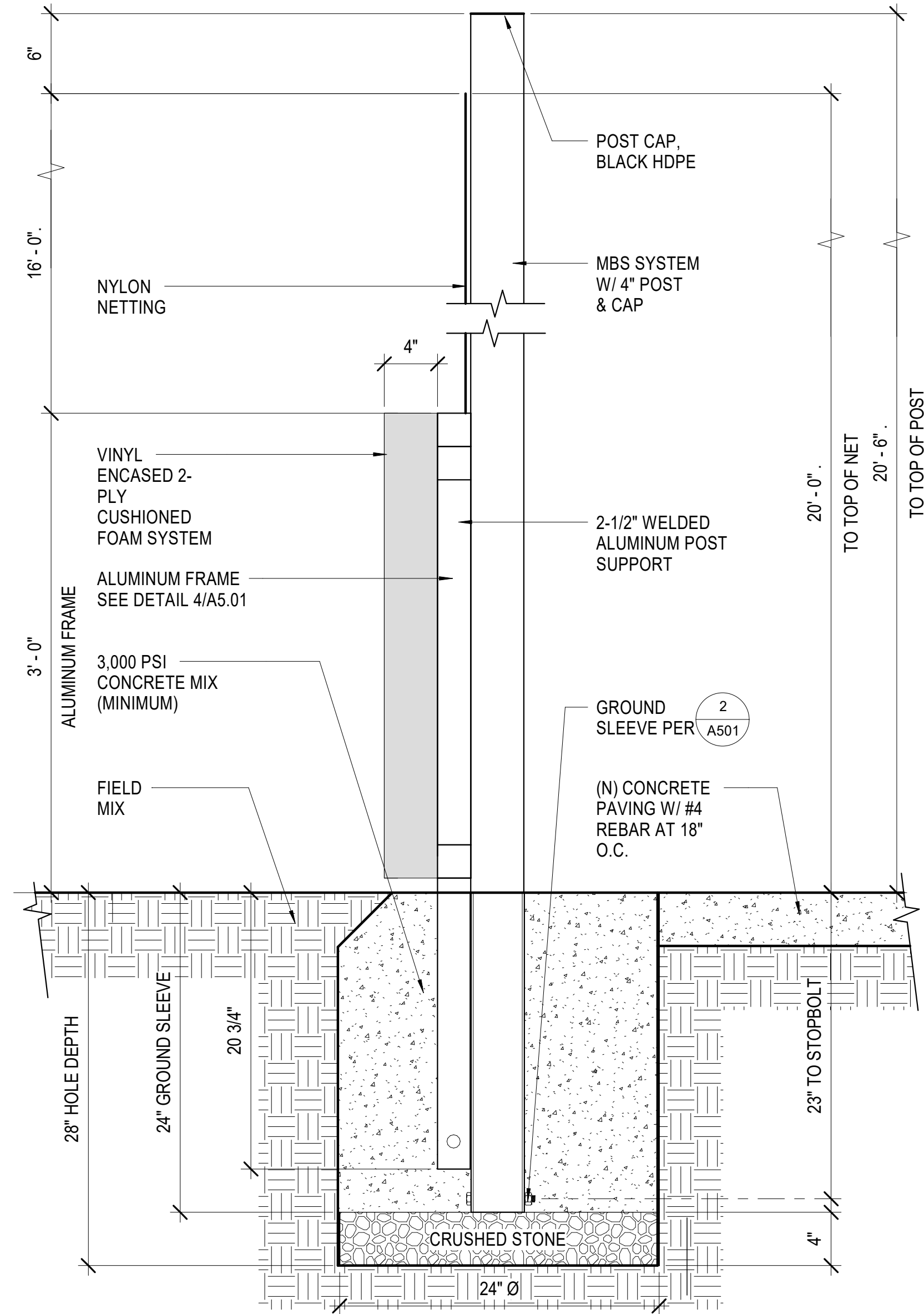
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4 TOP OF WALL AT 3RD BASE DUGOUT
3" = 1'-0"

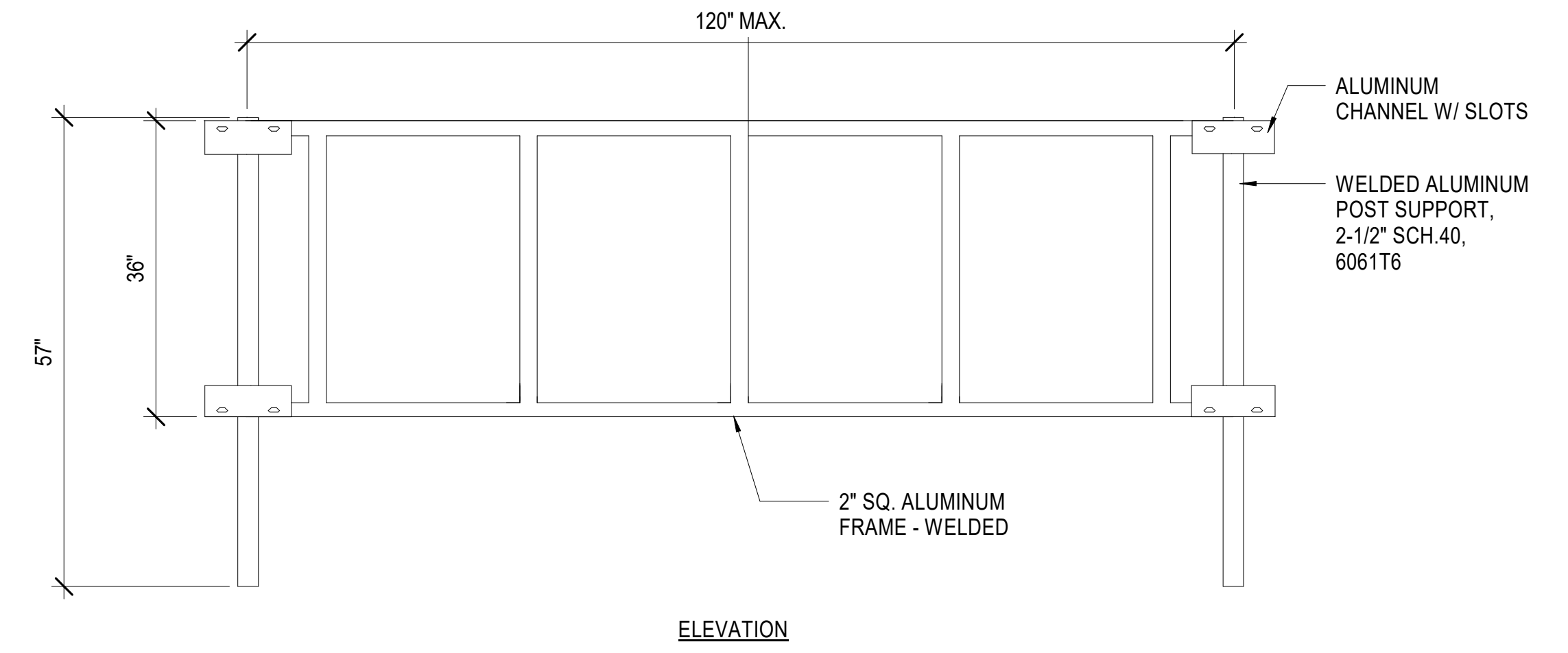


5 WALL AT 3RD BASE DUGOUT - PLAN
3" = 1'-0"

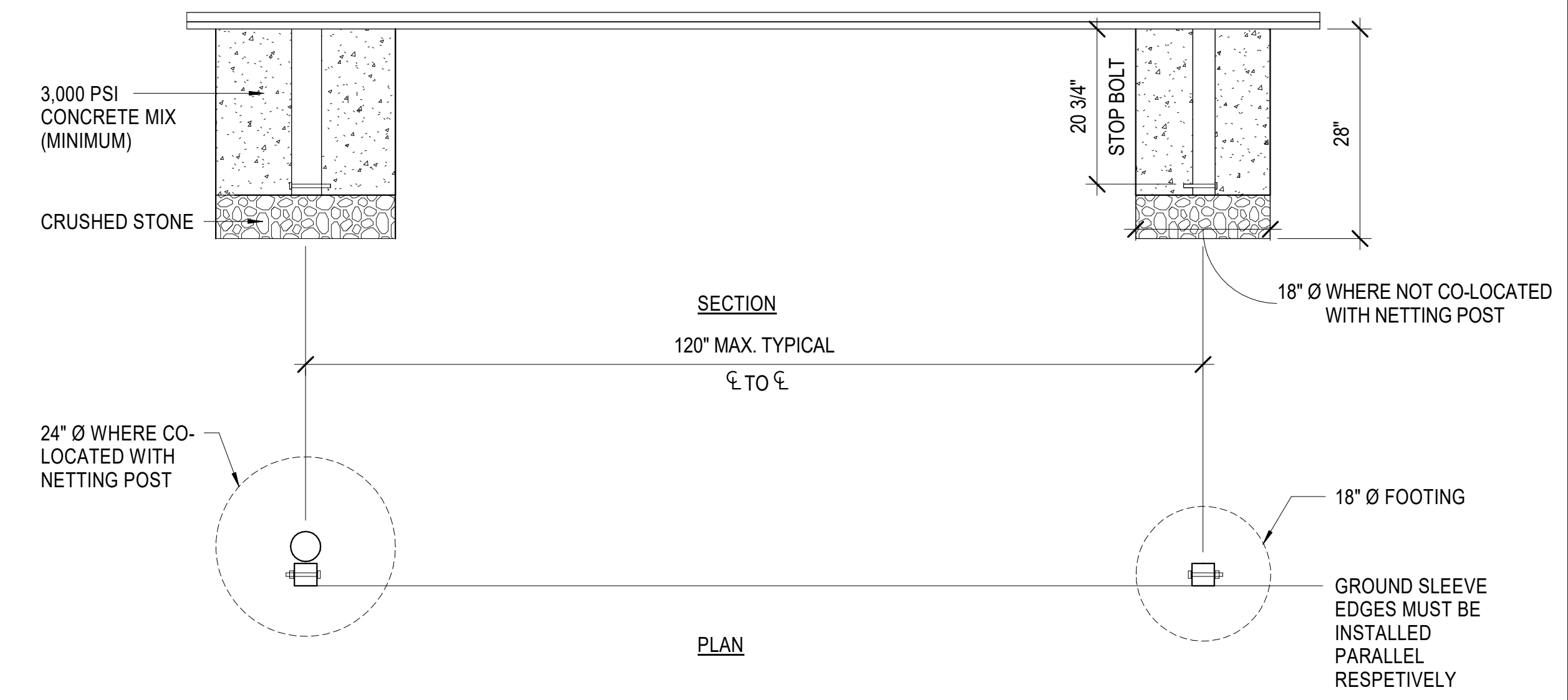


3 FENCE SECTION
1 1/2" = 1'-0"

MANUFACTURED ITEMS NOTE:
20' NET FENCING AND 3' PADDED BACKSTOP WALL SHOWN ARE BASED ON PRODUCTS BY ALUMINUM ATHLETIC EQUIPMENT COMPANY(AAE) AND REPRESENT THE DESIGN INTENT. OTHER MANUFACTURERS AND/ OR CUSTOM BUILT SYSTEMS MEETING THE DESIGN INTENT AND LEVEL OF QUALITY WILL BE ACCEPTED.

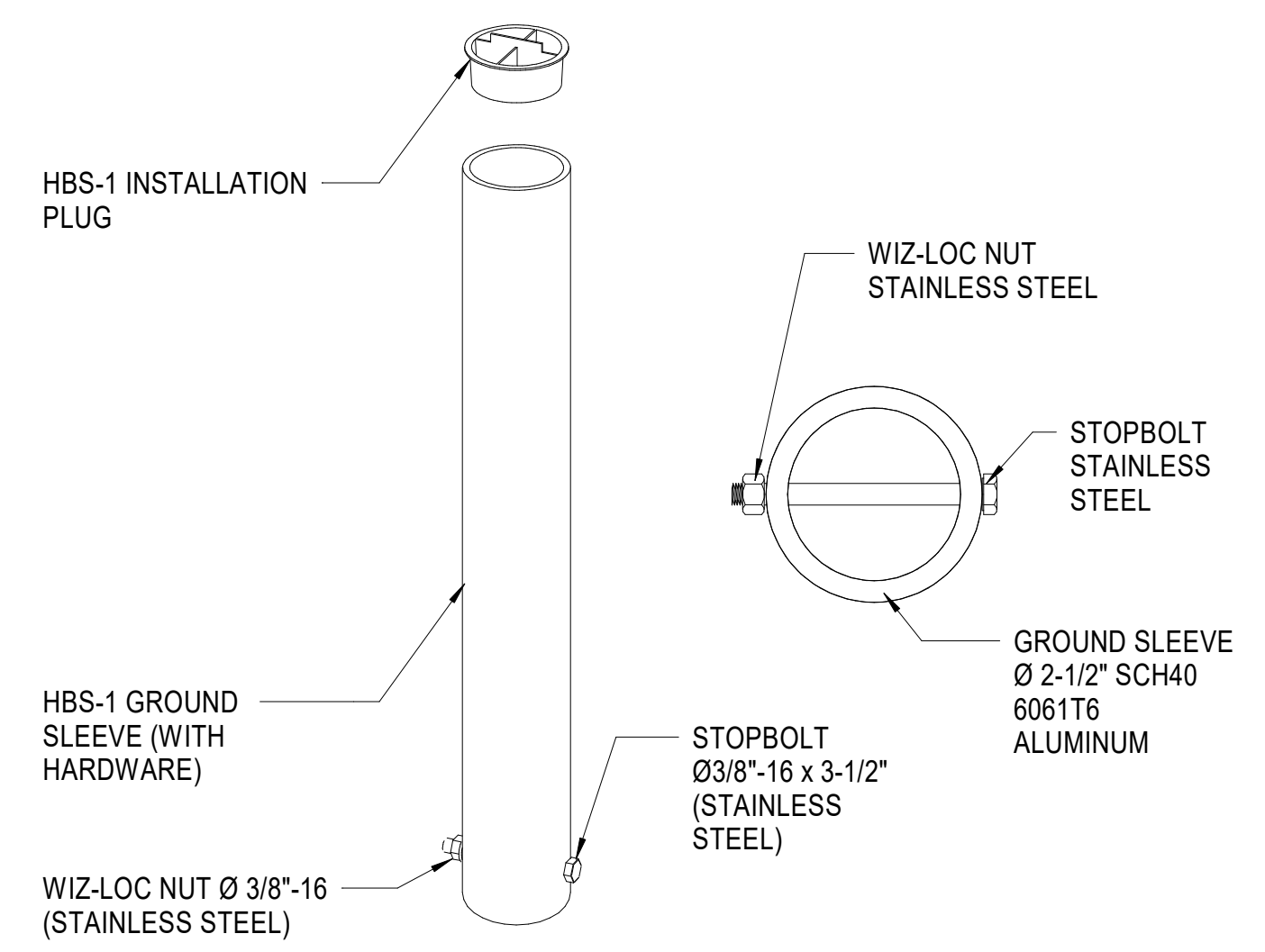


ELEVATION

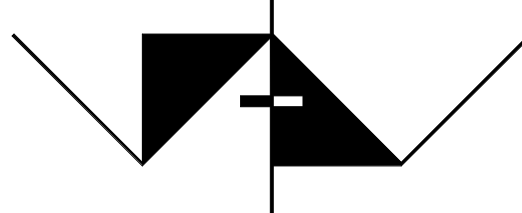



PLAN

1 BACKSTOP WALL
3/4" = 1'-0"



2 HBS-1 GROUND SLEEVE
3" = 1'-0"

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DETAILS			A501 OF
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