

## EXHIBIT A

**Exhibit A dated 09/01/2023.**

RE: BID 663, VENTURA COLLEGE: M BUILDING  
AT  
VENTURA COLLEGE  
located at 4667 Telegraph Road, Ventura, CA 93003

FROM: OWNER: VENTURA COUNTY COMMUNITY COLLEGE DISTRICT  
PURCHASING DEPARTMENT  
761 E DAILY DRIVE, SUITE 200  
CAMARILLO, CA, 93010

TO: ALL PROSPECTIVE BIDDERS:

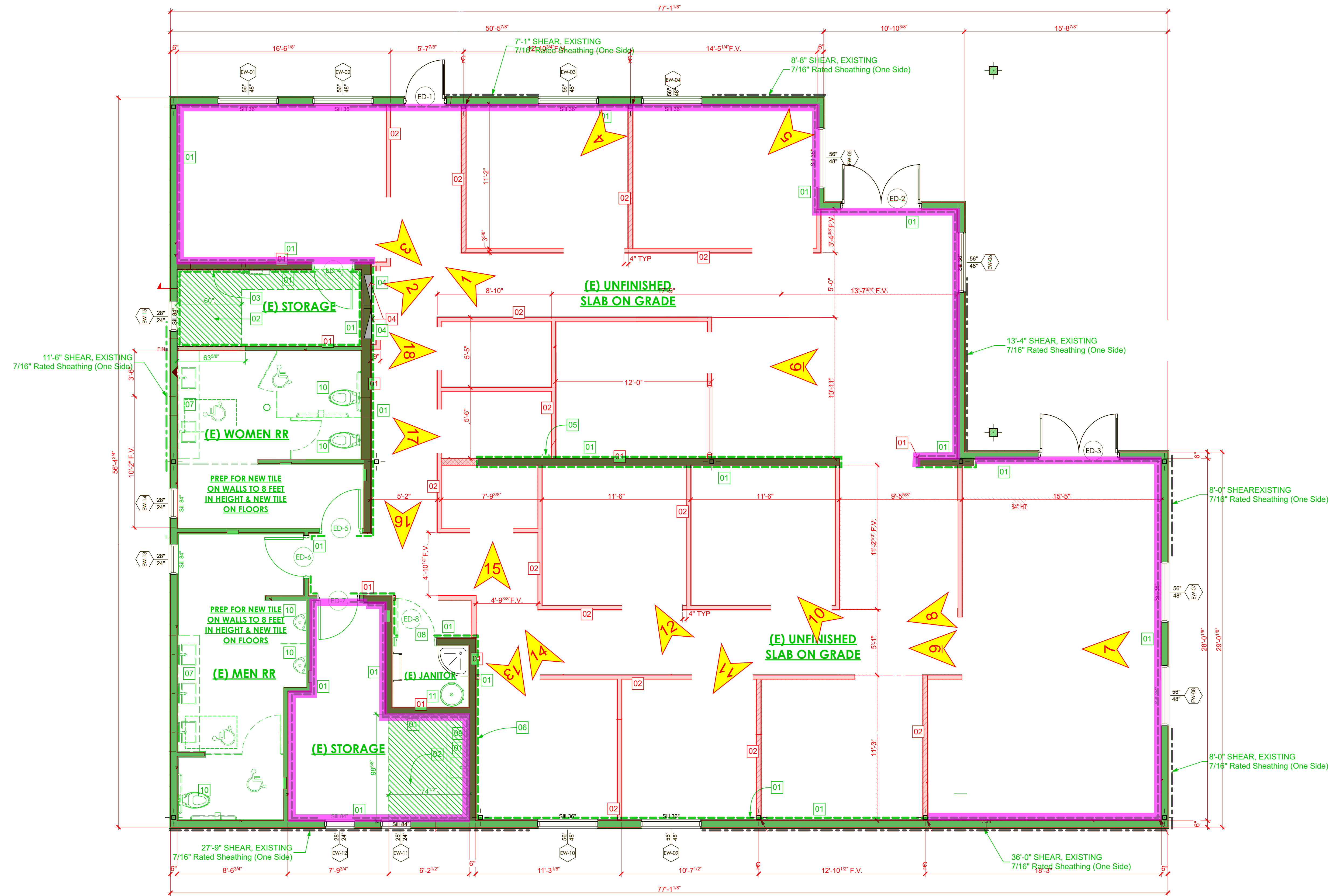
*This EXHIBIT A is hereby made part of the Contract Documents to the same extent as though it was originally included therein and takes precedence over the original documents. **Acknowledge receipt of all addenda on the Bid Form.***

The EXHIBIT A consists of (21) pages and (02) marked up drawings:

- A. CHANGES TO BIDDING DOCUMENTS: Reference documents shown on this Exhibit A is to be captured as part of the Contractor's as-builts through formal shop drawings and submitted as a Submittal item.
- B. CHANGES TO SPECIFICATIONS: None.
- C. CHANGES TO DRAWINGS: Noted in these reference documents are markups on sheets A-201 and A-202 noting existing conditions and proposed final floor plan layout. Reference documents shown on this Exhibit A is to be captured as part of the Contractor's as-builts through formal shop drawings and submitted as a Submittal item.
- D. OTHER CHANGES AS SET FORTH: None

END OF EXHIBIT A

# FOR REFERENCE ONLY



**1** INTERIOR DEMO PLAN - BUILDING C  
SCALE: 1/4" = 1'-0"

## DEMO PLAN NOTES

- A. PATCH WALL AND SLAB AS REQUIRED WHERE DEMOLITION OCCURS. PREPARE SURFACES TO RECEIVE NEW FINISHES.
- B. REMOVE ALL EXISTING BLANK COVER PLATES. PATCH ALL UNUSED OUTLET HOLES AND PREP WALLS FOR NEW FINISH.
- C. IN PARTITIONS BEING DEMOLISHED: REMOVE ALL ASSOCIATED POWER, TELE/DATA LINES, CABLING, ELECTRICAL SWITCHING, THERMOSTATS, AND CONDUITS. SAFE-OFF POWER BACK TO SOURCE.
- D. REMOVE ALL UNSECURED CABLING THROUGHOUT DEMOLITION AREAS. SECURE ALL REMAINING CABLING AS REQUIRED TO MEET CURRENT CODES.
- E. REMOVE ALL HILTI SHOT PINS FROM FLOOR SLAB. PATCH AND REPAIR AS REQUIRED.
- F. FOR ADDITIONAL GENERAL NOTES, LEGENDS, AND SCHEDULES, REFER TO SHEETS A-001 THROUGH A-006
- G. AREAS NOT MARKED OR HIGHLIGHTED OR CALLED OUT PER LEGEND ARE NOT IN CONTRACT ON THIS SHEET, TYPICAL.
- H. GC TO PROVIDE DUST PROTECTION THROUGHOUT DEMOLITION AND CONSTRUCTION.
- I. ARCHITECT HAS CONDUCTED NO TEST FOR, AND MADE NO DETERMINATION OF, THE PRESENCE OR LACK OF ASBESTOS OR OTHER HAZARDOUS OR TOXIC SUBSTANCES.
- J. ALL WORK SHOWN REFLECTS AS-BUILT MEASUREMENTS. HOWEVER, ANY NEW MODIFICATIONS TO THE SUITE SHALL REQUIRE FIELD VERIFICATION OF ALL DIMENSIONS SHOWN ON THIS PLAN PRIOR TO COMMENCING WORK.
- K. REFER TO MECHANICAL, ELECTRICAL, MECHANICAL, AND PLUMBING SHEETS FOR ADDITIONAL DEMOLITION INFORMATION.

## DEMO KEY NOTES

- 01 REMOVE ALL 3/8\" PLYWOOD FROM INTERIOR WALLS TO EXPOSE STUDS AS INDICATED WITH DASHED LINES. (3/8\" PLYWOOD LOCATED AT ALL (E) WDW'S SILL-JAMB-HEAD TO REMAIN)
- 02 SAWCUT EXISTING SLAB TO PREPARE FOR NEW SLAB AND DRAIN IN NEW SHOWER(S). SEE FLOOR PLAN FOR ADDITIONAL INFORMATION A-202
- 03 REMOVE (E) CONTROL BOX & CONDUIT FOR LAN GATE ROUTER & EXHAUST FANS - RELOCATE PER ELECTRICAL PLANS - SEE DETAIL SECTION B2/A801. REFER TO ELECTRICAL PLANS PRIOR TO REMOVAL.
- 04 ELECTRICAL SUB PANEL BOXES TO REMAIN - SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION
- 05 EXISTING LAN (NETWORK) CONDUIT TO REMAIN - SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
- 06 REMOVE AND CAP EXISTING DRAIN & WATER LINES.
- 07 REMOVE EXISTING COUNTERTOP AND SINK(S). SEE NEW PLUMBING LOCATIONS ON FLOOR PLAN.
- 08 REMOVE (E) DOOR AND HINGES - JAM AND CASING TO REMAIN.
- 09 REMOVE (E) STAINLESS STEEL COUNTERTOP AND SINK. CAP WASTE AND WATER LINES.
- 10 REMOVE EXISTING RESTROOM TOILETS, URINALS, PARTITION, AND RELATED ACCESSORIES/HARDWARE TO PREP FOR NEW TILE. STORE SAFELY FOR RE-INSTALLATION.
- 11 RELOCATE EXISTING WATER HEATER PER MAINTENANCE & OPERATIONS DIRECTOR.

## LEGEND

- PLYWOOD HAS BEEN REMOVED UP TO 10FT ABOVE FLOOR
- REMOVE PLYWOOD OR DRYWALL @ WALL
- DEMO WALL (FRAMING AND/OR DRYWALL) REFER TO PICTURES
- EXISTING WALL TO REMAIN
- 3/8 IN X-X\" OF EXISTING SHEAR (7/16\" RATED SHEATHING) SHOWN PER EXISTING STRUCTURAL PLANS
- DEMO AREA - SLAB

REVISIONS / DESCRIPTION	DATE	BY
GENERAL UPDATE PER M&O REVIEW	AUG 11, 2017	SES REC
ADDRRR RELATED DIMS ADA-E FINAL CONSTRUCTION SUBMITTAL	AUG 31, 2017	SES REC

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This project has been designed by me, or under my direct supervision.

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Ventura, CA 93003

DEPARTMENT OF  
MAINTENANCE &  
OPERATIONS  
4900 Loma Vista Road  
Ventura, CA 93003

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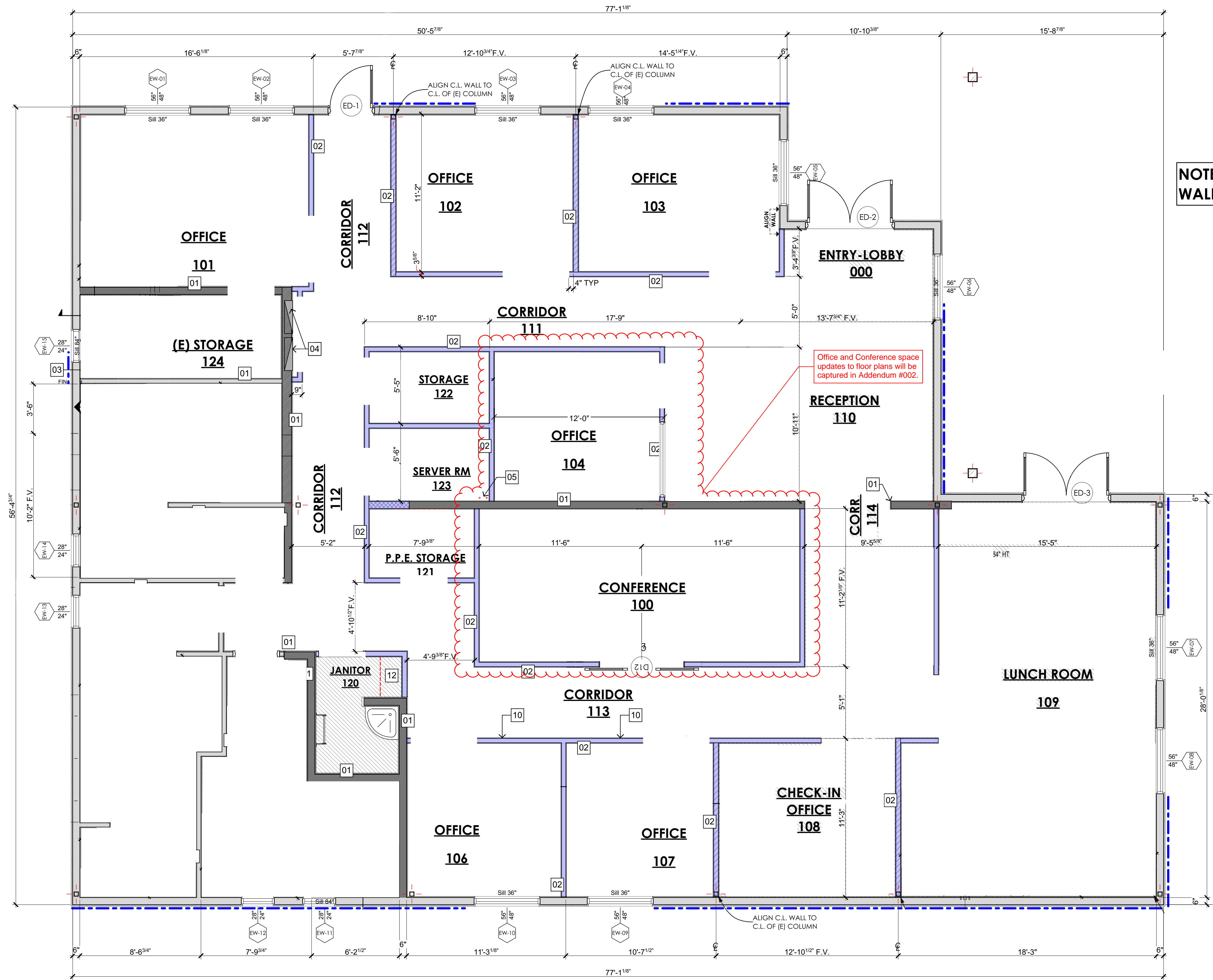
VENTURA COLLEGE  
MAINTENANCE & OPERATIONS  
INTERIOR TENANT IMPROVEMENT  
BUILDING C

## DEMOLITION PLAN BUILDING C

SHEET NAME:  
10 JULY 2017  
DATE:  
AS SHOWN  
SCALE:  
C16- 013  
ARCHITECT PROJECT #:  
**A-201**

1" ACTUAL  
SES  
DRAWN BY:  
P 0107586  
VCCCD PROJECT #:  
SHEET NUMBER: OF SHEETS

# FOR REFERENCE ONLY



**NOTE:**  
WALL BASE TO BE CUT FROM ROLL

**1 FLOOR PLAN - NEW INTERIOR LAYOUT**  
SCALE: 1/4" = 1'-0"

## FLOOR PLAN NOTES

- A. ALL NEW PARTITIONS TO BE METAL STUD FRAMING U.N.O. (ICC-ESR-2374) SEE CONNECTION DETAILS SHEET A-801 FOR MORE INFORMATION.
- B. ALL INTERIOR METAL STUDS MUST BE LISTED BY AN APPROVED TESTING AND LISTING AGENCY (ICC/CBO etc.) AND THEY MUST BE INSTALLED PER THE LISTING AND MANUFACTURERS INSTALLATION INSTRUCTIONS.
- C. PROVIDE BLOCKING AND BACKING AT 2'-0" AFF AND 8'-0" AFF IN INTERIOR PARTITIONS FOR ALL CASEWORK, EQUIPMENT, AND FUTURE ACCESSORIES.
- D. ALL PARTITIONS SHALL BE PAINTED AND RECEIVE 4" VINYL TOPSET BASE UNLESS OTHERWISE NOTED.
- E. FOR ADDITIONAL GENERAL NOTES, LEGENDS, AND SCHEDULES, REFER TO SHEETS A-001 THROUGH A-006
- F. ADA COMPLIANCE: CONTRACTOR TO VERIFY THAT THE EXISTING MULTIPLE STALL RESTROOMS ARE COMPLIANT WITH THE 2016 CBC CHAPTER 11B AND HAVE A DISABLED STALL CLEAR WIDTH AND A 9 INCH TIE SPACE BETWEEN PARTITION WALLS.
- G. AREAS NOT MARKED OR HIGHLIGHTED OR CALLED OUT PER LEGEND ARE NOT IN CONTRACT ON THIS SHEET, TYPICAL.
- H. GC TO PROVIDE DUST PROTECTION THROUGHOUT DEMOLITION AND CONSTRUCTION.
- I. CONTRACTOR TO VERIFY ALL NEW WORK IS COMPLIANT WITH THE 2016 CBC AS ARE ALL RAMPS & HANDRAILS FOR RAMP AND STAIRS AS APPLICABLE TO PROJECT SCOPE.
- J. ALL WORK SHOWN REFLECTS AS-BUILT MEASUREMENTS, HOWEVER, ANY NEW MODIFICATIONS SHALL REQUIRE FIELD VERIFICATION OF ALL DIMENSIONS SHOWN ON THIS PLAN PRIOR TO COMMENCING WORK.
- K. ALL DIMENSIONS ARE TO THE FACE OF METAL STUD UNLESS U.N.O.

## KEY NOTES

- 01 (E) PARTITION WALL PER WALL LEGEND - PROVIDE R-13 FIBERGLASS BATT SOUND INSULATION
- 02 NEW PARTITION WALL TO 10 FEET IN HEIGHT PER WALL SCHEDULE - PROVIDE R-13 FIBERGLASS BATT SOUND INSULATION
- 03 NEW PARTITION WALL TO 7 FEET IN HEIGHT PER WALL SCHEDULE @ SHOWER SEE SHEET A-801 FOR TYPICAL CONNECTION DETAILS.
- 04 ELECTRICAL SUB PANEL BOXES TO REMAIN - SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION
- 05 EXISTING LAN (NETWORK) CONDUIT TO REMAIN - SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
- 06 NEW BUILT-IN CABINETRY @ CONFERENCE RM - SEE INTERIOR ELEVATIONS.
- 07 NEW BASE CABINETS & COUNTER TOP - COUNTER TOP TO BE SOLID SURFACE BY DUPONT - CORIAN "LAVA ROCK" PER SPECIFICATIONS - SEE INTERIOR ELEVATIONS
- 08 NEW UPPER WALL CABINETS - SEE INTERIOR ELEVATIONS
- 09 FULL SIZE REFRIGERATOR LOCATION - NEW REFRIGERATOR BY OWNER
- 10 LOCATION FOR IDEA PAINT PRO DRY-ERASE COATING - APPLY PER SPECS, DISCUSS W/ ARCHITECT PRIOR TO APPLICATION FOR DELINEATION OF AREA TO BE COATED.
- 11 METAL SHELVING FOR SAFETY GEAR STORAGE - 48"x16"x7" HEIGHT UNITS. BY OWNER
- 12 CUSTOM FIT SHELVING BY OWNER
- 13 KOHLER TAHOE LAVATORY #K-2890-4U (WHITE) UNDERCOUNTER MOUNT - SEE DETAIL D4/A-802 SEE PLUMBING PLANS
- 14 CHICAGO FAUCET #116.211.AB.1 (ELECTRONIC)
- 15 COUNTER TOP: SOLID SURFACE BY DUPONT - CORIAN "LAVA ROCK" PER SPECIFICATIONS @ 3/4" PLYWOOD SEE DETAIL D4/A-802
- 16 LOCKERS BY OWNER
- 17 ELKAY CROSSTOWN 16 GAUGE STAINLESS STEEL 30-3/4" x 18-1/2" x 8". EQUAL DOUBLE BOWL UNDERMOUNT SINK KIT - EFRU3118D8G
- 18 CONFERENCE ROOM 65'-90" NETWORK MONITOR/SMART TV BY OWNER - TO BE WIRED FOR INTERNET AND COMMUNICATION W/ VIDEO CONFERENCE CAPABILITIES. SEE D4/8.01 FOR BACKING DETAILS.
- 19 42"-65" NETWORK CAPABLE MONITOR - INSTALL ON WALL @ 66" HIGH U.N.O. - SEE D4/8.01 FOR BACKING DETAILS.
- 20 VERTICAL FILE CABINETS - 64" TALL - BY OWNER
- 21 UPPER WALL MOUNT ABOVE WORKSTATION HUTCH STORAGE CABINETS BY OWNER.
- 22 28" TALL LATERAL FILE CABINET STORAGE UNITS BY OWNER.
- 23 FIRE ALARM CONTROL BOX TO REMAIN - SEE DEMO PLANS & DETAIL 82/A-801
- 24 Chicago Faucets: DECK MOUNTED 8" FIXED CENTERS HOT & COLD WATER SINK FAUCET - 1100-HA8A85-317AB
- 25 RE-INSTALL EXISTING TOILET, URINAL AND/OR TOILET COMPARTMENT ACCESSORY PER COMPLIANT STANDARDS.
- 26 NEW TOILET COMPARTMENT PARTITIONS: METPAR CORP. THE CORINTHIAN, #FP-500SS STAINLESS STEEL #301/#304 SERIES WITH A #4 SATIN FINISH SEE SPECIFICATION SECTION 10 21 13

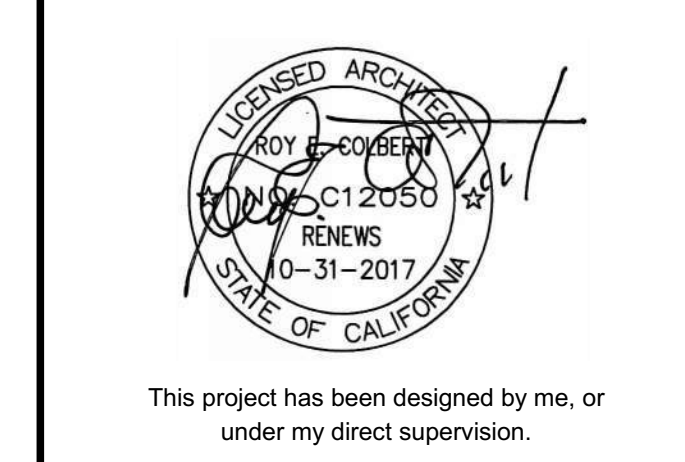
## LEGEND

- 8" EXISTING MTL STD WALL
- DARK HATCH DELINEATES FULL HEIGHT
- EXISTING MTL STD WALL - SIZE VARIES
- INDICATES (E) SHEAR PANEL LOCATIONS
- NEW 3 5/8" MTL STD WALL W/ 5/8" GYP BD BOTH SIDES PROVIDE R13 FIBERGLASS BATT SOUND INSULATION
- NEW 4" MTL STD WALL W/ 5/8" GYP BD BOTH SIDES PROVIDE R13 FIBERGLASS BATT SOUND INSULATION
- NEW 6" MTL STD WALL W/ 5/8" GYP BD BOTH SIDES PROVIDE R13 FIBERGLASS BATT SOUND INSULATION
- MICRO-TOPPING RELAY FLOOR FINISH O/ ARDEX PREMIUM SELF-LEVELING UNDERLAYMENT - SEE SPEC. 03 35 43
- FLOOR TILE PER WRITTEN SPECIFICATIONS
- HATCHING INDICATES WATERPROOF PAN AREA
- CARPET (PER OWNER); SHAW (TILES), DIRECT GLUE DOWN O/ ARDEX PREMIUM SELF-LEVELING UNDERLAYMENT THIS PLAN IS BASED UPON DATA COMPILED AND FURNISHED BY OTHERS

REVISIONS / DESCRIPTION	DATE	BY
GENERAL UPDATE PER JM REVIEW	AUG 11, 2017	SES REC
ADDRESS RELATED DWGS ADA + IE FINAL CONSTRUCTION SUBMITTAL	AUG 31, 2017	SES REC

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VENTURA COLLEGE  
MAINTENANCE & OPERATIONS  
INTERIOR TENANT IMPROVEMENT  
BUILDING C

## FLOOR PLAN - NEW INTERIORS

SHEET NAME: \_\_\_\_\_  
DATE: 10 JULY 2017  
SCALE: AS SHOWN DRAWN BY: SES  
C16- 013 P 0107586  
ARCHITECT PROJECT #: VCCDC PROJECT #:  
**A-202**  
SHEET NUMBER: 01 OF SHEETS

1



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